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Port of Oakland
Sanitary Sewer System
Condition Assessment Plan

Prepared for:



Prepared by:



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1 Introduction and Background

1.1 INTRODUCTION

The Port of Oakland (“Port”) owns the sanitary sewer system that services Port owned properties situated within Port jurisdictional boundaries generally encompassing the Oakland International Airport, the Port of Oakland seaport, and a commercial real estate area which generally borders the waterfront area between Clay Street on the north and East 7th Street on the south. California State law requires the Port to comply with the Statewide General Waste Discharge Requirements for Sanitary Sewer Systems (State Water Resources Control Board Water Quality Order No. 2006-0003-DWQ) which directs sanitary sewer system owners to develop Sewer System Management Plans and to manage and maintain their collection systems in a manner which minimizes Sewer System Overflows (“SSOs”).

All of the Port of Oakland sewer facilities discharge to the East Bay Municipal Utility District’s (“EBMUD”) sanitary sewer system, either directly or via the City of Oakland municipal’s wastewater collection system. In order to fulfill its responsibility to protect the quality of the receiving waters to which its regional wastewater treatment facilities discharge, EBMUD is required to minimize SSOs and inadequate sewage treatment caused by the entry of groundwater and rainwater (i.e., infiltration and inflow [“I/I”]) into the wastewater collection systems tributary to the treatment facilities. A large percentage of I/I into wastewater collection systems is known to emanate from building service connections which are typically the maintenance responsibility of the owner of the property on which the building is located. Consequently, as part of its effort to minimize entry of extraneous flows, EBMUD adopted a Regional Private Sewer Lateral Ordinance (“EBMUD Regional PSL Ordinance”) in 2014 which compels the owners of buildings connected to the regional collection system to inspect and as necessary, repair deteriorated service connection piping.

The Board of Port Commissioners adopted the Port of Oakland Private Sewer Lateral Ordinance (“Port PSL Ordinance”) on May 10, 2018. The Port PSL Ordinance establishes the parameters under which its tenants are responsible for inspection and repair of the service laterals connecting their buildings to the Port sanitary sewer system. The Port PSL Ordinance also requires the development of a Condition Assessment Plan (“CAP”) for the sanitary sewer facilities that are owned and maintained by the Port.

The Port sanitary sewer system upgrade program begins with the development of a plan for assessing the condition of the collection system on Port owned lands. The purpose for the CAP is to present a feasible plan for undertaking the initial steps toward Port conformance with the EBMUD initiative to reduce the contribution of extraneous flows (I/I) to its sanitary sewer system. The CAP defines which elements of the Port’s collection system are the responsibility of the Port to assess and upgrade and those elements which are the responsibility of Port tenants pursuant to the Port PSL Ordinance. The CAP goes on to present a scheduled plan for undertaking the condition assessment work for Port maintained sections of the sanitary sewer system. The Port PSL Ordinance also defines the conditions (“triggering events”) which compel Port tenants to undertake condition assessment of the sections of the sanitary sewer system for which they are responsible. Section 4.B of the Port PSL Ordinance requires that the CAP be completed no later than June 30, 2019.

1.2 REGULATORY REQUIREMENTS

1.2.1 EBMUD Regional Private Sewer Lateral Ordinance

In 2009, the United States Environmental Protection Agency (“EPA”) and the California State Water Resources Control Board, and the California Regional Water Quality Control Board (“Regional Water Board”), San Francisco Bay Region ordered EBMUD and the sewer districts and municipal agencies in the communities of Alameda, Albany, Berkeley, Emeryville, Oakland, Piedmont, and Stege Sanitary District to repair or replace deteriorated sanitary sewer pipes and prevent the rainfall induced inflow and infiltration into the regional wastewater collection system. The EPA's mandate compelled EBMUD and its partners to phase in the EBMUD Regional PSL Ordinance beginning in 2010. This ordinance was first adopted as EBMUD Ordinance No. 353-10 and it has since been amended several times, most recently in April 2019 through Ordinance No. 369-19.

The EBMUD Regional PSL Ordinance requires that under certain conditions (including title transfer, construction or remodeling of \$100,000 or more, or change in water services), property owners must obtain a certificate from EBMUD certifying that all of their PSLs are leak-free. Property owners may also voluntarily choose to have their laterals tested and certified.

1.2.2 Oakland Municipal Code

The City of Oakland adopted Ordinance No. 13026 and Ordinance No. 13080 (collectively referred to as the “City PSL Ordinance”) in July 2011. The City PSL Ordinance added Sections 13.08.590 through 13.08.620 to the Oakland Municipal and Planning Codes (“OMC”) and adopted by reference the EBMUD Regional PSL Ordinance. The City PSL Ordinance also directed the City’s Building Official to enforce the provisions of the EBMUD Regional PSL Ordinance and other City ordinance requirements relating to sewer laterals.

1.2.2.1 Port PSL Ordinance

The Board of Port Commissioners adopted the Port PSL Ordinance as Port Ordinance 4474 on May 10, 2018. The Port PSL Ordinance adopts by reference OMC Sections 13.08.590 through 13.08.620 with certain modifications and exceptions, requiring Port tenants to comply with such private sewer lateral regulations, and directing Port staff to prepare plans to assess and repair Port owned sanitary sewer facilities.

The intent of the Port PSL Ordinance is two-fold:

- 1) confirm the applicability and enforceability of the City PSL Ordinance and the EBMUD Regional PSL Ordinance, with certain modifications, within the Port Area and on Port owned property within the City of Oakland, and;
- 2) establish that Port tenants shall be “property owners” for the purposes of complying with these ordinances whenever compliance is triggered by the Port tenant. Refer to **Section 1.3 Definitions**.

A copy of Port PSL Ordinance 4474 is included in **Appendix A**.

1.3 DEFINITIONS

1.3.1 Port Jurisdictional Area

The Port of Oakland was established in 1927 by Section 701 of the Charter of the City of Oakland. The Charter grants land use jurisdiction to the Port for land that includes the Oakland International Airport, the Oakland Airport Business Park (a commercial area comprising approximately 400 acres located northwest of the Airport) and the seaport located west of Clay Street and Highway I-880. Maps depicting the Port jurisdictional area and Port owned lands are included in **Appendix C**.

1.3.2 Property Owner

EBMUD Regional PSL Ordinance Section 4.q defines “Property Owner” is a person that owns a parcel of real property, or that person’s authorized representative including a tenant or contractor. “Person” means an individual, trust, corporation, nonprofit organization, Homeowners’ Association, partnership, firm, joint venture, limited liability company, or association. A public entity is not a property owner for the purpose of this document.

The Port PSL Ordinance further defines “Property Owner” as any person or party using or occupying any lands or other real property owned by the Port pursuant to any Lease as defined in **Section 1.3.3** below.

1.3.3 Leasehold Property

“Leasehold Property” means the property contained within the boundaries of any property lease, assignment agreement, license and concession agreement, temporary rental agreement, contract or any other tenancy or occupancy agreement between the Port and a tenant (such agreement referred to herein as a “Lease” for purposes of this ordinance) for a property located in the Port Area or on Port property in the City of Oakland, which may include more than one Assessor’s Parcel Number or less than a full Assessor’s Parcel Number. (Port PSL Ordinance Section 3.A.1).

1.3.4 Private Sewer Lateral Pipe (“PSL Pipe”)

PSL, as defined in the EBMUD Regional PSL Ordinance, is a pipe or a series of pipes and appurtenances that carries sewage or liquid waste from the structure(s) served, whether the structure(s) is or are publicly or privately owned. A PSL is associated with a parcel if it, or any portion of it, is located upon the parcel or conveys sewage and liquid waste from any structure located on that parcel. More than one PSL may be associated with an individual parcel. (EBMUD Regional PSL Ordinance Section 4.p)

Section 13.08.020 of the Oakland Municipal Code (which includes the City PSL Ordinance) defines building sewer as “that particular sanitary sewer which lies between a point two feet from the building or structure it serves, to and including its connection with the sewer system or other point of discharge and which carries sewage and liquid wastes from public or private premises to a public or private sewer system, individual sewage disposal system or other point of discharge or point of disposal.” That same section also defines “sanitary sewer” as “any public or private sewer designed and/or constructed for the purpose of conveying sewage or other liquid waste from a building sewer to or toward a point of disposal or discharge.”

For the purposes of the Port PSL Ordinance, Private Sewer Lateral Pipe (“PSL Pipe”) includes any portion of the building sewer and other sanitary sewers serving a structure(s) within the boundary of a Leasehold Property that serves only one Port tenant.

1.3.5 Port Controlled Sewer Asset

“Port Controlled Sewer Asset” refers to a sewer pipe or series of sewer pipes on properties owned by the Port, except for PSL Pipes, as defined above, and any other sewer laterals that are deemed to be the responsibility of a Port tenant through leasehold agreement. The Port will be responsible for inspection, maintenance, and repair of Port Controlled Sewer Assets.

2 Sanitary Sewer System Information

2.1 SANITARY SEWER MAPPING AND ASSET INVENTORY

2.1.1 Port of Oakland Sewer System Overview

The Port of Oakland owns an extensive sanitary sewer collection system comprised of gravity mains, service laterals, force mains, and a number of lift stations which serves the infrastructure located in each of its three revenue divisions. All of the sewage generated by facilities on Port owned property ultimately discharges to the EBMUD regional collection system for treatment at its wastewater treatment facility. The EBMUD wastewater treatment facility is located on a triangular site bounded by West Grand Avenue, Highway 80, and Highway 880, immediately north of the Port's seaport.

As a customer of and discharger to the EBMUD facilities, the Port of Oakland and its tenants comply with applicable EBMUD regulations and initiatives, including the EBMUD Regional PSL Ordinance aimed at reducing I/I into the sanitary sewer collection/treatment system facilities.

This Condition Assessment Plan addresses the gravity sewer sections of the entire Port sanitary sewer system. Sewage lift station and force main rehabilitation work is being addressed separately under the Port's Pump Station Reliability Plan.

2.1.2 Sanitary Sewer System Mapping

A significant percentage of the buildings and infrastructure, including the sanitary sewer facilities in two of the three Port revenue division areas has been in existence for many decades. The Oakland Seaport and Airport functioned as critical military installations during World War II. While some of the infrastructure has since been rebuilt as part of the Port's continuous development over the years, other sections of the sewer system infrastructure remaining in service date back to the mid-1900's.

As is the case with some older underground infrastructure records, tenant improvements have not always been reported to the Port and consequently, the Port's wastewater collection system mapping was not always kept up to date in a consistent, comprehensive fashion. However, in recent years the Port has expended considerable effort to assemble available records into a comprehensive set of maps. The results from this effort were compiled in the Port's Enterprise Geographical Information System (GIS), referred to as Port View.

A GIS platform supports asset inventory and management functions extremely well, allowing users to quickly locate and review available asset characteristics using a mapping interface. Therefore, a separate GIS database built upon the information available through Port View at the outset of the project was used to support the PSL Condition Assessment Plan preparation tasks. This GIS was used to record updated sewage system surface feature (manholes, cleanouts, and oil/water interceptors) locations, memorialize supporting information (primarily sewage facility site photographs), and enter sanitary sewer system maintenance responsibility determinations.

2.2 GRAVITY SEWER MAINS

Due to the size and geographical diversity of the properties controlled by the Port of Oakland, the sanitary sewer system discharges to several distinct locations. The Oakland International Airport discharges directly to the EBMUD interceptor system via Pump Station G. The Maritime and CRE Areas discharge to the City of Oakland collection system which then connects to the EBMUD regional collection system.

2.2.1 Aviation Area

The Oakland Airport is the Port owned property located furthest south from the EBMUD wastewater treatment plant. For descriptive purposes, the Airport is informally divided into two operational areas.

The South Field area includes the two commercial airline terminals and support facilities as well as a Federal Express overnight delivery mail handling campus, the Federal Aviation Administration (“FAA”) air traffic control tower and a Bay Area Rapid Transit (“BART”) station. All wastewater flow from the South Field area is tributary to Lift Station No. 1 located on the west side of Airport Drive near its intersection with Ron Cowan Parkway. Lift Station No. 1 conveys the wastewater to a gravity line which extends along Airport Drive to Earhart Road in the North Field section of the airport. Wastewater flows from the North Field area are combined with those from South Field and discharge into EBMUD Pump Station G located near the intersection of Earhart Road and Swan Way.

The North Field area generally brackets approximately two miles of Earhart Road from its intersection with Bessie Coleman Drive/Hegenberger Road, west to its intersection with Doolittle Drive (refer to mapping in **Appendix F**). This section of the airport generally consists of commercial buildings, car rental facilities, and airport hangars occupied by tenants serving the private aviation industry along with support facilities for the public commercial aviation businesses operating from the South Field.

2.2.2 Maritime Area

The Oakland Seaport primarily serves the overseas shipping industry. It consists of waterfront terminals, roadway and railway intermodal cargo transfer facilities, and businesses which support these industries. The Maritime area is the northern most Port owned property and its northern limit is located close to the EBMUD wastewater treatment plant.

The seaport waterfront is informally divided into three sections. The Outer Harbor, occupying Berths 9 through 38 is located on the north side of the seaport, adjacent to the westbound approach to the Oakland Bay Bridge. The two largest terminals in the Outer Harbor are referred to as the Ben E. Nutter Terminal and the TraPac Terminal.

The Middle Harbor occupies Berths 55 through 63 and is located to the south of the Outer Harbor. The Oakland International Container Terminal and the Matson Terminal occupy the Middle Harbor berths.

The Inner Harbor area is considerably smaller than the Outer and Middle Harbors and includes Berths 67 and 68. It is located east of the Middle Harbor and is the site of the Howard Terminal.

In addition to the waterfront areas, the seaport also includes the former Oakland Army Base (“OAB”). The Port owns a portion of the OAB land east of Maritime Street.

All sewage generated within the Maritime area flows into either the City of Oakland sewer lines (on 7th Street, Maritime Street, or Middle Harbor Road), or to EBMUD Pump Stations K or L.

2.2.3 Commercial Real Estate Area

The Commercial Real Estate (“CRE”) Area generally encompasses the area along the Oakland waterfront extending from Clay Street on the north to the Airport Business Park at Hegenberger Road and Pardee Drive on the south (refer to mapping in **Appendix C** and www.portofoakland.com/port/commercial-real-estate/about/ for a more precise depiction of the CRE Area). The CRE Area includes Jack London Square which brackets Water Street from its intersection with Clay Street south to its intersection with Alice Street.

As its name implies, the CRE Area includes commercial buildings of various types, including office space, hotels, restaurants and entertainment venues, and retailers. Many are multi-tenant buildings.

The Port directly leases buildings in the CRE Area and has also contracted with property management firms and real estate developers to lease other of its CRE properties. Where property management firms are involved, they share maintenance responsibilities in certain common areas.

The sanitary sewers in the CRE Area discharge to the City of Oakland sanitary sewer system at numerous locations. As noted earlier, the City sanitary sewer system is connected to the EBMUD regional collection system.

2.3 SEWER LATERALS

The sanitary sewer systems serving the Port’s three revenue division venues are unique in several respects. In many instances, particularly in the Maritime Area, the spatial relationship between tenant Leasehold Properties and the sanitary sewer system serving those areas does not conform with typical sewer systems where buildings and their service laterals are situated on individual lots. In a typical municipality, the public works agency owns sewer lines located within roadway rights-of-way or easements, and generally, the roadway right-of-way/easement line serves as the delineation point between the private sewer lateral ownership and maintenance responsibility and the sanitary sewer owned and maintained by the public works agency. On Port property, there is no public works agency, and utility maintenance is often determined by Leasehold Property and the terms of a particular lease with each tenant.

The Maritime and Aviation Areas are comprised of several very large parcels. In most cases, Leasehold Properties do not conform with these lot lines. In the Maritime Area, sewers often serve more than one tenant and run through many of the Leasehold Properties without bracketing easements around them. Based on the above, and for the purposes of administering the Port PSL Ordinance, the Port defines PSL Pipes as the sewers located within a tenant’s Leasehold Property serving only that tenant’s building(s) and operations. Laterals serving more than one tenant are generally considered Port Controlled Sewer Assets. However, certain laterals may be the responsibility of a Port tenant if required by the applicable Leasehold agreement. The Port will remove such laterals from the Port-Controlled Sewer Assets maps as these responsibilities are determined. (See **Section 5.5** for additional detail.)

The preparation of the CAP involved extensive field work to verify the locations of sanitary sewer lines and manholes within Port controlled property where confidence in the integrity of the

Port's available mapping was questionable due to the age of the system and extent of seaport terminal area modifications that have occurred.

With the exception of the Aviation North Field Area, building service laterals were not included in the Port's sewer system mapping available at the start of the CAP preparation. For the purposes of the CAP preparation, the cleanouts serve as visual indicators of building service lateral locations, yielding the ability to make an informed judgment as to the alignment and linear extent of each lateral. In recognition of the foregoing, the field work also involved location and verification of building sewer cleanout locations across the entire Port sanitary sewer system. This work was completed in cooperation with the Port facilities managers and staff who are familiar with the Port infrastructure.

The results of the field work were compiled in a geographical information system for quantification and delineation of pipe segment responsibility. Reports were downloaded and sorted to produce the approximate lengths of sewer falling under Port responsibility and those which are the responsibility of Port tenants. The GIS system will require updating as the sanitary sewer system is modified, as tenants change, and as tenant responsibilities are further defined. In cases where new tenant agreements or tenant sewer system improvements alter the extent or configuration of the sanitary sewer system, the current responsibility delineation may also change and need to be updated in the GIS database.

2.3.1 Aviation Area

The majority of the PSLs in the Aviation South Field Area emanate from either Terminal 1 or Terminal 2 or from offices and support buildings where Port and tenants are co-located. The commercial airline terminals are in essence multi-tenant buildings where it is neither possible nor practical to assign tenant responsibility for utility maintenance. Therefore, the majority of the building service laterals, as well as the larger collector sewers serving multiple buildings in the South Field will remain a Port maintenance responsibility (i.e. Port Controlled Sewer Assets).

The Federal Express overnight mail facility and the aviation fuel storage facility referred to as the Oakland Fuel Facilities Corporation ("OFFC") are two areas in the South Field where the Port tenants are responsible for the sewer lines within their Leasehold Properties.

The majority of the tenants in the North Field Area occupy buildings within Leasehold Properties that mimic typical municipal lots fronting on a public roadway. The majority have PSL Pipes that discharge to a gravity sewer main on Earhart Road. In general, where single tenants occupy the buildings in this area, they will be responsible for the PSL Pipe to the limit of their Leasehold Property. Where multiple tenants holding lease agreements directly with the Port of Oakland occupy a building, the PSL responsibility will be with the Port, unless otherwise defined in a particular leasehold agreement. The Port will also be responsible for the collector sewers serving multiple tenants in the North Field.

A list of current Aviation Area PSL Tenants is presented in **Appendix E**.

2.3.1.1 Current Aviation Area Large PSL Leasehold Owners

For the purposes of administration of the Port PSL Ordinance, PSL Tenants with a Leasehold Property that contains more than 1,000 feet of PSL Pipe are categorized as "Large Leasehold Owners") (OMC Section 13.08.600(E) and Port PSL Ordinance Section 3). Large Leasehold Owners within the Aviation Area are as follows:

1) Federal Express

2.3.2 Maritime Area

A wide variety of tenant types occupy the Maritime Area. Many have space assignment type leases which do not include buildings with sewer connections and therefore are not affected by the Port PSL Ordinance. There are however, a number of large Maritime tenants, primarily marine terminal operators, occupying major expanses with multiple buildings connected to the sanitary sewer. In these cases, the PSL Pipe consists of both the building service laterals and the sewer segments situated within their Leasehold Properties which serve more than one of that tenant's buildings. All of the PSL Pipe is the responsibility of the tenant.

There also exist a large number of sanitary sewers serving more than a single tenant which run through Leasehold Properties, outside roadway rights-of-way and without easements bracketing them. Since these sanitary sewers carry wastewater flows from more than a single tenant, they generally would be the responsibility of the Port (i.e. Port Controlled Sewer Assets), unless otherwise defined in a particular leasehold agreement.

A list of current Maritime Area PSL Tenants is presented in **Appendix E**.

2.3.2.1 Current Maritime Area Large PSL Leasehold Owners

Large Leasehold Owners within the Maritime Area are as follows:

- 1) BNSF Railway (JIT)
- 2) CenterPoint Properties (Seaport Logistics Complex)
- 3) CoolPort Oakland LLC
- 4) Everport Terminal Services, Inc (Ben E. Nutter Terminal)
- 5) SSA (OICT)
- 6) SSA (Matson)
- 7) TraPac Terminal

2.3.3 Commercial Real Estate Area

The buildings and tenant types within the Port's CRE Area are similar to those within typical municipal settings. Most buildings are situated on a single lot. Sanitary sewer connections from the buildings typically discharge into a common sewer carrying wastewater flows from multiple buildings.

In general, the PSL Pipe for single tenant buildings leased directly from the Port will be the responsibility of the tenant. PSL Pipe emanating from multiple tenant buildings owned and managed by the Port generally will be the responsibility of the Port, unless otherwise defined in a particular leasehold agreement.

The Port does engage property management firms and real estate developers to manage some of its properties within its CRE Area. In these instances, the property management firm and the real estate developers will be responsible for the maintenance of the PSL Pipe for these properties.

A list of current CRE Area PSL Tenants is presented in **Appendix E**.

2.3.3.1 Current CRE Area Large PSL Leasehold Owners

Large Leasehold Owners within the CRE Area are as follows:

- 1) CIM
- 2) East Bay Regional Parks District
- 3) Hilton Hotels Corporation - dba Airport Hilton
- 4) Oakland Hospitality LLC

3 Private Sewer Lateral Condition Compliance Action Triggers

3.1 SEWER LATERAL INSPECTION AND REPAIR DELINEATION

The Port PSL Ordinance, among other things, adopted with certain modifications Sections 13.08.590 through 13.08.620 of the Oakland Municipal and Planning Codes and declared that the City PSL Ordinance (as modified by the Port PSL Ordinance) would be enforceable against certain occupants and users (“tenants”) of Port controlled lands.

Section 3.B of the Port PSL Ordinance makes tenants responsible for inspecting, repairing, or replacing all PSL Pipes within their Leasehold Property and including, without limitation, obtaining a compliance certificate from EBMUD in accordance with the EBMUD Regional PSL Ordinance, subject to certain modifications.

Section 4.B of the Port PSL Ordinance states that “the Port will voluntarily assess the condition of all Port owned sewer lines on all properties owned by the Port except those sewer lines that are within a Leasehold Property and serve only one tenant.” Port tenants are therefore required to inspect, repair, or replace PSL Pipes within their Leasehold Property if they trigger the inspection or repair requirements of the Port PSL Ordinance.

Building sewers emanating from multi-tenant structures/buildings on Port controlled property are the responsibility of the building owner or where applicable, the property management agency responsible for the building maintenance, to inspect and repair should a triggering event occur, unless otherwise defined in a particular leasehold agreement.

Sanitary sewers situated on Port owned land serving more than a single Leasehold Property are considered common sewer lines rather than private sewer laterals and with the exception of sewers owned by EBMUD or the City of Oakland, will be the Port of Oakland’s responsibility to inspect, maintain, and repair, irrespective of where they are located, unless otherwise agreed to with the applicable tenant.

3.2 TRIGGERS FOR COMPLIANCE WITH PORT PSL ORDINANCE AND WITH CITY PSL ORDINANCE

Tenants will trigger the requirements of the Port PSL Ordinance and therefore the City PSL Ordinance if a tenant either:

1. Applies for any permit or other approval for construction, remodeling, modification or alteration of any structure with a building sewer, where the cost of the work is estimated to exceed \$100,000; or
2. Applies for any permit or other approval from EBMUD to increase or decrease the size of its water meter.

3.3 TENANT CATEGORIES AND COMPLIANCE RESPONSIBILITIES

The requirements of the Port PSL Ordinance depend on whether the amount of PSL Pipe within a tenant's Leasehold Property, is less than or more than 1,000 linear feet as described below:

Requirements for Leasehold Owners with sanitary sewers totaling less than 1,000 feet in length:

- a. Testing Requirement. If any of the triggering events identified in **Section 3.2** above occur, a PSL tenant is required to obtain a compliance certificate from EBMUD confirming that all PSL Pipes within their Leasehold Property are in compliance with the applicable verification testing standards for integrity.
- b. Repair Requirement. If any PSL Pipes found within the Leasehold Property do not pass the verification integrity test from EBMUD, the line must be repaired (*or replaced*) and retested prior to receiving a compliance certificate from EBMUD. Typically, PSL Pipes older than 20 years will require some level of repair to meet current regulatory standards.

Requirements for Leasehold Owners with sanitary sewers totaling greater than 1000 feet in length as stated in the PSL Ordinance, which may be amended from time to time:

Leasehold Owners with sanitary sewers totaling greater than 1,000 feet in length face the same triggering events described above for Leasehold Owners with less than 1000 feet of sanitary sewers, but rather than immediately testing and repairing all the PSL Pipes within their Leasehold Property, they are required to:

- a. Condition Assessment Plan. Within one (1) year of the triggering event, the Large Leasehold Owners must complete and submit to EBMUD for approval, with a copy to the Port, a plan that includes a schedule for assessing the condition of all PSL Pipes associated with the Leasehold Property.
- b. Corrective Action Work Plan. Within six (6) years of the triggering event, the Large Leasehold Owner must complete all condition assessment testing and submit a Corrective Action Work Plan ("CAWP") for EBMUD approval with a copy to the Port. The CAWP must describe the type, quantity, and schedule of work needed to bring all PSL Pipes associated with the leasehold interest into compliance with the standards set forth in the EBMUD Regional PSL Ordinance.

3.4 PORT OF OAKLAND LEASE TYPES

A wide variety of lease types exist across the Port of Oakland's three revenue divisions. Being contractual documents, many of which predate the adoption of the Port PSL Ordinance, their terms and conditions may impact the following:

- 1) whether a tenant will trigger the obligations under the Port PSL Ordinance;
- 2) the Port's decision to consider a PSL Pipe part of a Port Controlled Sewer Asset and include it in the Port Condition Assessment Plan.
- 3) whether a particular PSL Pipe shared by more than one tenant is the responsibility of a tenant and would not be considered a Port Controlled Sewer Asset

The specific determination of tenant responsibility for a particular PSL Pipe may require a case-by-case review of individual leasehold agreements by the Port's Legal Department and may result in slight changes to the scope of the Port Controlled Sewer Assets included in this CAP, as described further in **Section 5.5**.

Examples of a number of the types of leases granted in the Port of Oakland are described in **Table 3-1**.

Table 3-1. Examples of Port of Oakland Lease Types

Lease Type	Description¹	Typical Term
Non-Exclusive Preferential Assignment Agreement (NEPAA)	Leases with marine container yard terminal operators. Historically, the terms and conditions of these types of leases make the Port generally responsible for repairing defects and deficiencies of underground utilities. More recent NEPAA renewals exclude Port responsibility for maintenance and repair of the building service laterals and/or sewer lines that serve these tenants exclusively. All NEPAAs require examination on an individual basis to determine Building sewer line responsibility.	14-15 years
Other Maritime Leases	Other lease agreements with Maritime tenants, although not termed NEPAA, may have similar terms and maintenance and repair responsibilities as NEPAA leases. They require examination on an individual basis to determine Building sewer line responsibility.	10-12 years
Month-to-Month Leases	These types of leases generally apply to trucking companies, truck scales, warehouse operators, container depots, office trailers, and yard spaces to support maritime services.	Ave 5-6 years
Ground Leases	Tenants with ground leases are often responsible for maintenance and repair of everything that the tenants construct or install on their leased premises from the ground up. Lands and improvements revert back to the Port at the end.	66 years
License and Concession Agreements	These types of leases apply primarily to tenants in the CRE area including the Airport Business Park but also to an increasing number of short to mid-term Maritime Tenants. Tenants are responsible for maintenance and repair/remodeling expenses of the building and within their leased premises.	5-10 years
North Field Airport Leases	These leases carry similar terms and obligations as are License and Concession Agreements. In certain cases, tenants may receive rent credits in exchange for improvements made to infrastructure within their leased premises and therefore these require examination on an individual basis to determine responsibility for bearing the cost of service lateral and/or sewer line maintenance and improvements.	5-10 years
Temporary Rental Agreements	These are short-term agreements that allow tenants to continue operations while negotiating for a longer-term tenancy agreement. TRAs can be used for access and right-of-entry (rent or rent-free). These types of leases generally would not involve tenant PSL triggering activities.	Varies

¹ As referenced above, the specific determination of tenant responsibility for a particular PSL Pipe requires review of the terms of each leasehold agreement by the Port's Legal Department.

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4 Condition Assessment Plan ("CAP") Implementation

The CAP presents the Port of Oakland's program plan for upgrading the sanitary sewer systems existing on Port owned lands. The Port PSL Ordinance defines the basis for delineating sewer maintenance and upgrade responsibility between the Port and its tenants. The preparation of this CAP applied the Port PSL Ordinance defined maintenance responsibility delineation criteria to identify which sections of the overall Port sanitary sewer system are the responsibility of the various parties.

4.1 SEWER SYSTEM MAPPING AND MAINTENANCE RESPONSIBILITY DETERMINATION

The total inventory of mapped sanitary sewer lines within Port owned lands has been examined and updated during the preparation of this CAP. Substantial field work was completed to update the sanitary sewer mapping across all three Port revenue venues. The field work was completed with the assistance of Port engineering and facilities maintenance staff. Meetings were conducted with Port real estate managers to confirm buildings and structures which are currently connected to the sanitary sewer system and to categorize building and structures as either single tenant lease properties or multi-tenant properties.

The resulting list of buildings connected to the sanitary sewer system was then categorized as to maintenance responsibility using a geographical information system. Each segment of sewer in the updated sewer system map was linked to a responsible party. Querying the GIS database by responsible party allowed for preparation of both detailed and summary tabulations of sewer segments by responsible party. The summary tabulations by Port Revenue Division are presented in **Appendix E**.

There are some Leasehold Properties where the alignment and extent of the PSL Pipe within the Leasehold Property requires further investigation. In these instances, a preliminary assumption as to the responsible party was made based upon building managing agent and the determination as to whether the building is single or multi-tenant (it is impractical to assign PSL responsibility to any particular tenant in a multi-tenant building with a shared plumbing system). As indicated in **Section 5.5**, the maintenance responsibility for a particular PSL Pipe may change based on the terms of each leasehold agreement as determined by the Port's Legal Department. The alignment and extent of the PSL Pipe in these cases will need to be determined in the future as triggering events occur.

The schedule and methods for assessing both the Port maintained and tenant maintained sewer lines are summarized in the following sections.

4.2 CONDITION ASSESSMENT PLAN SCHEDULE

4.2.1 Port Maintained Gravity Sewer Mains and Building Service Laterals

The Port will complete a condition assessment of the Port maintained sewer lines and laterals (i.e. Port Controlled Sewer Assets) and develop a CAWP for these lines by June 30, 2023.

The Port is responsible for an extensive quantity of sanitary sewer facilities within its lands. Projects for assessing and upgrading some of the Port sanitary sewer facilities in the Maritime and Aviation Areas have already been initiated, and separate sewer improvement projects have already been started and completed as described in **Section 5.2** below. The Port also recently completed an extensive closed-circuit television (“CCTV”) inspection project for sewers in the Jack London Square section of the CRE Area. In addition, substantial redevelopment has occurred in the Maritime Area in recent years and continues with major projects planned and underway along Maritime Street on the site of the former Oakland Army Base.

The prioritized schedule for completing condition assessment of Port maintained sewer assets reflects the Port and tenant projects that are currently underway. The schedule prioritizes condition assessment in areas where no improvement projects within the next four years are anticipated. Condition assessment of sanitary sewer facilities situated in locations where contemplated projects are in the preliminary planning/discussion phases has been deferred to Years 3 and 4 of the Fiscal Year 2019-2020 to 2022-2023 timeframe.

Table 4-1 summarizes the approximate quantities of condition assessment work planned for Port Controlled Sewer Assets by year over the 4-year condition assessment phase of the sewer system upgrade program.

Table 4-1. Quantity of Port Maintained Sewer to be Inspected and Assessed per Year (LF)

Revenue Area	FY 19-20	FY 20-21	FY 21-22	FY 22-23
Maritime	3,000	6,000	7,000	4,000
Aviation	12,500	12,500	12,500	12,500
Commercial Real Estate	0	7,000	3,000	0

4.2.2 Private Sewer Laterals and Gravity Sewer Mains (PSL Pipes)

Section 3.2 of this report defines the tenant initiated actions which trigger the PSL condition assessment requirements upon Leasehold Properties as defined in the Port PSL Ordinance. The requirements of the Port PSL Ordinance depend on whether the amount of PSL Pipe within a tenant’s Leasehold Property, is less than or more than 1,000 linear feet as described in **Section 3.3**.

4.3 CONDITION ASSESSMENT METHODS

Reducing I/I from building service connections is the focus of the Port PSL Ordinance, adopting by reference City of Oakland Municipal and Planning Code Sections 13.08.590 through 13.08.620. The Port PSL Ordinance also commits the Port “to participating and furthering the goals of the East Bay Regional Private Sewer Lateral Program.”

Since PSL Pipe configurations vary as described below, various condition assessment techniques and corrective actions will be employed in the Port’s sewer system upgrade program. Selection of the most appropriate condition assessment inspection method for both building service connections and gravity sewer mains will depend upon a variety of factors, including pipe

material, pipe age, pipe construction method, history of performance, accessibility, relative consequence of a pipe failure, and budget.

Tenant maintained conventional building service laterals will be inspected and where necessary, be replaced and repaired under the approval of EBMUD as part of the process of obtaining building permit approvals from the City of Oakland, rather than in a subsequent corrective action step (except for Large PSL Leasehold Owners whose schedule is as per **Section 3.3**). This process is described in **Section 4.3.1** and **Appendix D**.

Sanitary sewers which are the responsibility of the Port of Oakland will be rehabilitated or replaced in a separate corrective action work phase. Larger diameter PSL Pipe and gravity sewer mains will be inspected, assessed using National Association of Sewer Service Company (“NASSCO”) condition assessment guidelines for sewer pipe as described in **Section 4.3.2**.

4.3.1 Conventional Building Service Laterals

Building service laterals typically consist of 4-inch or 6-inch diameter gravity sewers with cleanouts installed at bends and near the property line where the service lateral extends to a common sewer in a public right-of-way or easement. Building service laterals are the predominant sewer infrastructure element addressed by the EBMUD Regional PSL Ordinance. EBMUD will witness the verification test and provide the compliance certification for Port building service laterals, including those delineated in the CAP as tenant maintained PSL Pipe.

CCTV is a common method of assessing sanitary sewer pipe condition. While CCTV is useful for an initial assessment of sewer line condition, EBMUD does not consider CCTV an acceptable verification method to test whether conventional building service lateral connections are vulnerable to leaking. EBMUD prescribes two recommended condition assessment verification tests for building service connections: either a Hydrostatic Water Test or a Low-Pressure Air Test. Descriptions for each as adapted from the EBMUD Regional PSL Ordinance guidelines are presented in **Appendix D**, and these will constitute the required testing methods to be performed on 4-inch and 6-inch building service connections with clean-out access points in order to obtain EBMUD building service compliance certification.

4.3.2 Large Diameter PSL Pipes and Gravity Sewer Mains

In addition to the typical building service laterals described in **Section 4.3.1**, larger diameter gravity sewers also serve single tenant facilities at various locations within Port owned lands. The larger diameter of these sewers may be necessitated by either the magnitude of the estimated peak wastewater flows emanating from the building and/or the distance between the building and the nearest common sewer. In these instances, the PSL Pipe can be 6-inch or larger gravity sewer segments bracketed by manholes rather than cleanouts, identical to conventional wastewater collection system sewer mains.

Several PSL tenants also have multiple buildings connected to the sewer system within their Leasehold Property. The Port PSL Ordinance considers these sewer segments PSL Pipes and assigns the tenant maintenance responsibility for them up to the limit of the tenant’s Leasehold Property boundary.

Sanitary sewer segments constructed with 6-inch and larger diameter pipe with bracketing manholes instead of clean-outs, whether they serve single buildings or function as gravity collector sewers serving multiple buildings, will be inspected using CCTV inspection methods in

conjunction with NASSCO condition assessment rating methods. NASSCO has developed pipe, manhole, and lateral condition assessment techniques and guidelines which have become industry standards for performing inspections and assigning condition ratings for the prioritization of sewer system rehabilitation programs. The NASSCO recommendations for performance of CCTV inspections and the NASSCO pipeline assessment certification program (“PACP”) will be applied to 6-inch and larger gravity sewer mains (i.e. sewer segments with manholes). Manhole condition assessment will involve visual topside inspection and application of NASSCO manhole assessment and certification program (“MACP”).

Rehabilitation of large diameter PSL Pipes and gravity sewers determined to be vulnerable to I/I will generally involve either pipe replacement or use of one of several industry accepted sewer rehabilitation techniques, including cured-in-place lining, pipe bursting, or slip-lining. Low pressure air testing can be used to judge the integrity of newly installed replacement pipe prior to its being placed into service. Post-construction CCTV inspection will be used as the acceptance testing for trenchless pipe rehabilitation.

Large diameter PSL Pipes are most commonly associated with Leasehold Owners with greater than 1000 feet of PSL Pipe. **Section 3.3** presents the timelines for completion of condition assessments and tenant prepared CAWPs following triggering events by Leasehold Owners with greater than 1000 feet of PSL Pipes.

The condition assessment and CAWP for all sewers which are Port Controlled Sewer Assets will be completed by June 30, 2023. The corrective action for Port Controlled Sewer Assets will be completed by 2036.

5 CAP Program Monitoring and Reporting

This CAP presents the guidelines and schedule for conducting the condition assessment work necessary for reducing I/I of groundwater and storm water into the sanitary sewers situated on lands owned by the Port. The program to modernize the Port's sanitary sewer system is borne out of the Port's stewardship responsibility for protection of the environment through implementation of its strategic goals to modernize and maintain its infrastructure while improving customer service. The Port PSL Ordinance provides the framework for achievement of the I/I reduction program on Port owned lands, assigning maintenance and corrective action responsibility for sanitary sewers serving a single tenant's structures and situated within that tenant's Leasehold Property to that tenant. The Port is responsible for the maintenance and corrective action for the remainder of the sanitary sewers on Port owned lands with the exception of City of Oakland and EBMUD sewers and pump stations.

The CAP provides a preliminary delineation of the sections of the sewer system on Port owned property to be maintained by Port tenants or property management agencies by the terms of the Port's PSL Ordinance and lease conditions and those sections of the sewer system to be maintained by the Port (i.e. Port Controlled Sewer Assets). The report also presents the EBMUD and the City of Oakland requirements for inspecting, and where necessary, upgrading PSL Pipe to reduce their contribution of extraneous flows (I/I) to the City of Oakland and EBMUD sanitary sewer systems and to present a prioritized schedule for assessing the condition of the Port maintained sewer facilities.

5.1 PRIVATE SEWER LATERAL PIPE

The Port PSL Ordinance assigns tenant responsibility for assessing the watertight integrity of their PSL Pipes within their Leasehold Property when triggered, by passing a witnessed verification test and obtaining an EBMUD PSL Compliance Certificate memorializing the test results. The sewer system maintenance responsibility will be based upon the terms of the Port PSL Ordinance and tenant lease conditions.

Following completion of a condition assessment or preliminary verification test, it is expected that some PSL Pipes will need repair or replacement before it can pass one of the EBMUD witnessed verification tests. **Section 3.3** presents the required timeframes for completing condition assessment and either; 1) corrective action (tenants with less than 1000 feet of PSL Pipe) or, 2) preparation of a tenant-prepared CAP and CAWP (tenants with greater than 1000 feet of PSL Pipe) following a triggering event.

Following repair or replacement, PSL Pipes that pass the verification test will be issued a Compliance Certificate. Once obtained, the Compliance Certificate is good for either seven (7) or twenty (20) years. The Compliance Certificate is good for seven years if the lateral is not found to be in need of repair as demonstrated by the verification test or is repaired as needed to pass the test. The Certificate is good for 20 years if the lateral is completely replaced and passes the required verification test.

All tenants obtaining an EBMUD PSL Compliance Certificate will be required to provide a copy to the Port's permit office. Tenant PSL Pipe information tables similar to those included in **Appendix E** to this report, but with additional fields for memorializing relevant PSL Pipe certification data, will be maintained in the Port's permit office and be updated regularly with the

EBMUD PSL Compliance Certificate number and the date of issuance as PSL verification certificates are obtained.

5.2 PORT OF OAKLAND SANITARY SEWER SYSTEM UPGRADE

The Port of Oakland PSL Ordinance defines the objectives, shared responsibilities, and implementation timeframes regarding the inspection, maintenance, and repair of the Port's sanitary sewer system.

The Port PSL Ordinance also commits the Port to assessing the condition of all sanitary sewers on Port owned lands which are not the responsibility of either Port tenants, Port property management agencies, the City of Oakland, or EBMUD and as such, is a continuation of an ongoing effort to address aging sewer system infrastructure that is typically achieved through a combination of on-going maintenance and capital investment. As detailed in **Section 4**, the Port has prepared a plan and schedule for performing the condition assessment of Port Controlled Sewer Assets and development of a CAWP for completion of necessary sewer system upgrades.

In addition to the Port's PSL Ordinance, the CAP, and the CAWP, the Port also completes necessary sanitary sewer upgrades as part of its updated Sewer System Management Plan (SSMP) in an effort to address I/I and new regulatory requirements. Specifically, the Port's annual budget planning process, adopted as part of the SSMP, includes a 5-Year Capital Improvement Program (CIP) that provides for sanitary sewer funding to address compliance with regulatory requirements and more pressing sanitary sewer projects in advance of the CAP and CAWP.

Below is a list of the sewer system related projects completed since the federal consent decree settlement in September 2014:

Table 5-1. Port of Oakland Sewer Projects since 2014

Projects	Year of Completion
1. Rehabilitate 900 feet of 10-inch sewer gravity main under a parking lot at the Oakland Airport	2014
2. Rehabilitate lift station AP05P at Oakland Airport	2014
3. Rehabilitate 2200 feet of 15-inch sewer gravity main on 7 th Street and former Ferry Street in the Maritime area	2015
4. Abandon existing sanitary sewer infrastructure and replace with new sanitary sewer trunk lines, force mains, laterals, and lift stations on Maritime Street as part of the redevelopment of the former Oakland Army Base	2015-18
5. Rehabilitate Lift Station AP01P at Oakland Airport	2017
6. Abandon existing sanitary sewer infrastructure and replace with a new collection system including complete rehabilitation of lift station D09P as part of the tenant development of the Cool Port Oakland in the Maritime area	2018

5.3 PORT AND TENANT COORDINATION WITH THE CITY OF OAKLAND AND EBMUD

The Port controlled lands are situated within the City of Oakland and therefore the City of Oakland Planning and Building Department administers and enforces a PSL program in compliance with its Municipal and Planning Codes Sections 13.08.590 through 13.08.620 and the City PSL Ordinance. Port tenants will work directly through the City to obtain the necessary PSL permit approvals.

The City PSL Ordinance requires coordination with EBMUD and EBMUD witnessing of the PSL verification test. EBMUD issues the PSL Compliance Certificate upon successful conformance with its PSL integrity verification procedures. The condition assessment and verification testing criteria are summarized in **Appendix D**.

Additional information and guidance in obtaining approvals, retaining contractors and similar information relating to EBMUD's requirements which Port tenants must comply with is available on the EBMUD website at: <http://www.eastbaypsl.com/eastbaypsl/>.

Port tenants' PSL compliance is triggered by permits and approvals required by the City and/or EBMUD. PSL compliance testing and memorialization is administered by EBMUD. Port representatives will meet regularly with their EBMUD counterparts on a mutually agreed schedule during the CAP and CAWP to assess progress and compliance tracking of the sewer system improvements within Port controlled lands.

5.4 IMPLEMENTATION MONITORING AND REPORTING

Implementation of the sanitary sewer system upgrade and maintenance program will be a combined effort between the Port and its tenants. The timing of tenant PSL condition assessment is governed by the occurrence of tenant determined triggering events. All Port Controlled Sewer Assets will be assessed for those condition by June 30, 2023. A CAWP also will be developed by the June 30, 2023 deadline for Port Controlled Sewer Assets found to need repair or replacement. All corrective action required to upgrade Port Controlled Sewer Assets will be completed no later than 2036. These improvements are in addition to the Port's CIP Program included in the SSMP, as described above.

EBMUD has entered into a 22-year Consent Decree with the EPA to reduce the occurrence of SSOs to waters entering San Francisco Bay. Annual progress reporting on the sewer system upgrades made to reduce SSOs is required. Although not a named party in the Consent Decree, the Port has embarked on a program to reduce I/I to the sanitary sewers on Port controlled land. The Port has been submitting annual program status reports to the City since 2014 and will provide informal updates on the current program status at coordination meetings with EBMUD.

5.5 CAP MODIFICATIONS AND REVISIONS

Modifications or revisions to the CAP may be necessary as additional information is gathered regarding Port controlled properties, Leasehold Properties, and Leasehold agreements. As noted in **Chapter 3**, modifications to the sanitary sewer system within the Port controlled property, tenant improvements and reconfigurations within their Leasehold Properties, and renewal and adjustment of current Leasehold Property boundaries will collectively impact the sewer inventory database, and in some cases, necessitate revisions to the current maintenance

delineation points presented in this CAP. Additionally, while general assumptions have been made regarding tenant responsibilities related to each type of Leasehold Property, the specific terms of each Leasehold agreement would supersede such assumptions. For example, a tenant may be obligated to maintain sewer infrastructure for laterals that serve two tenants if mandated by their Leasehold agreement. As triggering events occur in these types of cases, the Port Legal Department will review the applicable Leasehold agreements, as appropriate, to confirm such obligations. Such review may result in an update to the area of Port Controlled Sewer Assets. In addition, Leasehold Property maps may change slightly as Leasehold agreements are amended, and/or when Leasehold Properties change hands.

Finally, changes to the EBMUD Regional PSL Ordinance may necessitate corresponding modifications to the Port's PSL program. Accordingly, the CAP, and all corresponding maps and Leasehold Property maps, should be viewed as a living database requiring vigilant updating to maintain its utility to Port staff involved in the PSL program.

APPENDIX A

Port of Oakland Ordinance 4474

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PORT ORDINANCE NO. 4474

ORDINANCE ADOPTING BY REFERENCE OAKLAND MUNICIPAL AND PLANNING CODES SECTIONS 13.08.590 THROUGH 13.08.620 AS MODIFIED HEREIN, REQUIRING PORT TENANTS TO COMPLY WITH SUCH PRIVATE SEWER LATERAL REGULATIONS, AND DIRECTING PORT STAFF TO PREPARE PLANS TO ASSESS AND REPAIR PORT-OWNED PRIVATE SEWER LATERALS

WHEREAS, in 2009, the United States Environmental Protection Agency ("EPA") and the California State Water Resources Control Board, and the California Regional Water Quality Control Board, San Francisco Bay Region filed lawsuits against the East Bay Municipal Utility District ("EBMUD") and six satellite agencies, including the City of Oakland (the "City"), citing violations of the Clean Water Act and the California Water Code and requesting that defendants fix old, cracked sanitary sewer pipes (the "CWA Lawsuits"). Also in 2009, the EPA filed an Administrative Order against the City directing it to fix the sewer system, including adopting a private sewer lateral program (Docket No. CWA 309(a)-10-009) (the "EPA Administrative Order");

WHEREAS, many pipes in the City are in need of repair to prevent the infiltration of rainwater, which can overwhelm wastewater treatment facilities and lead to the release of partially treated wastewater into the Bay. In response to the CWA Lawsuits and EPA's Administrative Order, EBMUD and the City took several actions to address old sanitary sewer pipes, including phasing in a Regional Private Sewer Lateral ("PSL") Ordinance (the "East Bay Regional Private Sewer Lateral Program"). Under the program, affected property owners must obtain a certificate from EBMUD certifying that all of their PSLs are leak-free and have passed a verification test. Property owners may also choose to have their laterals tested and certified;

WHEREAS on February 9, 2010, EBMUD adopted Ordinance No. 353-10, which amended Ordinance No. 311 by adding Title VIII thereto, establishing the East Bay Regional Private Sewer Lateral Program and enacting regulations for the inspection, testing, repair, replacement, and ongoing maintenance of PSLs within the program area, including the City. EBMUD amended the EBMUD Regional PSL Program on July 23, 2013 (Ordinance No. 359-13), which deleted Title VIII and re-enacted its modified provisions as a new standalone ordinance, and amended Ordinance No. 359-13 again on October 28, 2014 (Ordinance No. 362-14) (Ordinance 359-13 and all existing and future amendments thereto are collectively referred to herein as the "EBMUD Regional PSL Ordinance");

WHEREAS, the EBMUD Regional PSL Ordinance requires "property owners" to obtain a "compliance certificate" upon the happening of certain events including title transfer, construction or remodeling the permitted work cost of which exceeds \$100,000 or change in water services. Under the EBMUD Regional PSL Ordinance, a "property owner" includes "a person that owns a parcel of real property, or that person's representative including a tenant or contractor." A public entity, including the Port is not defined as a property owner for the purposes

of the EBMUD Regional PSL Ordinance;

WHEREAS, the City has enacted Sections 13.08.590 through 13.08.620 to the Oakland Municipal and Planning Codes ("OMC") by adopting Ordinance No. 13026 and Ordinance No. 13080, respectively (and collectively referred to as the "City PSL Ordinance"), which adopted by reference the EBMUD Regional PSL Ordinance and directed the City's Building Official to enforce the provisions of the EBMUD Regional PSL Ordinance and other City ordinance requirements relating to sewer laterals;

WHEREAS, pursuant to Article VII, Section 706(4) of The Charter of the City of Oakland ("Charter"), the Board of Port Commissioners ("Board" or "Port") has been vested with the complete and exclusive power, and it shall be its duty on behalf of the City to have control and jurisdiction of the "Port Area" (as defined in the Charter), as it may be amended from time to time;

WHEREAS, pursuant to Article VII, Section 706(27) of the Charter, the Board has been vested with the complete and exclusive power, and it shall be its duty on behalf of the City to adopt and enforce such ordinances, orders, regulations and practices as are necessary for the proper administration, management and government of the Port and its facilities; and

WHEREAS, the intent of this ordinance is to: 1) confirm the applicability and enforceability of the City PSL Ordinance, and the EBMUD Regional PSL Ordinance incorporated therein, within the Port Area and on Port-owned property within the City of Oakland as set forth in this ordinance, and 2) to establish a "Local Ordinance Requirement" as defined in the EBMUD Regional PSL Ordinance establishing that Port tenants shall be "property owners" for the purposes of complying with the City PSL Ordinance, and the EBMUD Regional PSL Ordinance incorporated therein, with certain exceptions as outlined herein; now, therefore,

BE IT ORDAINED by the Board of Port Commissioners of the City of Oakland as follows:

Section 1. In acting upon this matter, the Board has exercised its independent judgment based on substantial evidence in the record and adopts and relies upon the facts, data, analysis, and findings set forth in the Agenda Report and in related agenda materials and in testimony received.

Section 2. The Board hereby finds and determines as follows:

- A. Keeping Port owned sewer lines free from the infiltration and inflow ("I/I") of storm water and ground water reduces sewer overflows from Port property into surface waters like the San Francisco Bay, which pose a threat to public health, safety and the environment, and to reduce I/I into Port owned sewer lines, the Board finds it necessary and prudent

to adopt this ordinance; and

- B. The proposal to adopt the City PSL Ordinance, and the EBMUD Regional PSL Ordinance incorporated therein, as modified herein and to apply it to the Port Area and all Port owned property in the City of Oakland was reviewed in accordance with the requirements of the California Environmental Quality Act ("CEQA") and the Port CEQA Guidelines. The proposal is categorically exempt from CEQA pursuant to Section 15308 of the Port CEQA Guidelines in that the proposal constitutes a regulatory action taken to assure the maintenance, restoration, enhancement, or protection of the environment. Accordingly, the Board hereby finds and determines that the proposal will not have a significant effect on the environment and is therefore exempt from the provisions of CEQA.
- C. The Port has the authority as a property owner acting in its proprietary capacity to regulate certain uses and activities on Port property; and
- D. Charter Section 706(3) requires the Port to "take charge of, control, and supervise ... all the water front properties, and lands adjacent thereto, ... which are now or may hereafter be owned or possessed by the City, and the purpose of this ordinance is consistent with the Port's authority under the Charter Section 706(27) to adopt ordinances and regulations necessary for the proper administration and management of Port facilities.
- E. "Property Owners", as defined in Section 3(A)(3) below, shall be expressly required to obtain a Compliance Certificate from EBMUD as specified in the City PSL Ordinance, and the EBMUD Regional PSL Ordinance incorporated therein, as modified herein.

Section 3. The Board hereby adopts by reference Oakland Municipal and Planning Codes Sections 13.08.590 through 13.08.620 (Chapter 13.08 of Title 13) and declares those provisions, in particular the EBMUD Regional PSL Ordinance incorporated therein, to be enforceable within the Port, subject to the following additions and modifications:

- A. For the purpose of this ordinance, the following definitions and clarifications are hereby added:
 - 1. "Leasehold Property" means the property contained within the boundaries of any property lease, assignment agreement, license

and concession agreement, temporary rental agreement, contract or any other tenancy or occupancy agreement between the Port and a tenant (such agreement referred to herein as a "Lease" for purposes of this ordinance) for a property located in the Port Area or on Port property in the City of Oakland, which may include more than one Assessor's Parcel Number or less than a full Assessor's Parcel Number.

2. The term "Parcel" as used in the EBMUD Regional PSL Ordinance means, for purposes of implementing this ordinance, the Leasehold Property.
3. "Property Owner". In addition to the persons and entities included within the EBMUD Regional PSL Ordinance definition of 'property owner', a 'property owner' also includes any person or party using or occupying any lands or other real property owned by the Port pursuant to any Lease as defined above."

- B. Within the Port Area and on Port-owned property within the City of Oakland, Property Owners, as defined above, shall be responsible for inspecting building sewers, obtaining all required permits, performing all necessary building sewer repair or replacement, scheduling inspections with EBMUD, passing a verification test witnessed by EBMUD, obtaining and filing with the City a compliance certificate from EBMUD as set forth in the EBMUD Regional PSL Ordinance for the entire building sewer (upper building sewer lateral and lower building sewer lateral) when one or more of the triggering events in OMC Sections 13.08.600 A, B, or C occurs, except as modified below for Leasehold Properties with sanitary sewers totaling greater than 1000 feet in length.
- C. The first sentence of OMC Section 13.08.600 is hereby amended to add the following text at the beginning of the sentence: "Unless otherwise excepted under Sections F and H below,".
- D. Subsection "E" of OMC Section 13.08.600 is amended to read as follows:

"Properties with Sanitary Sewers Totaling Greater than 1000 Feet in Length. Within one year of occurrence of any event specified in Subsection A, B

or C of this section [OMC Section 13.08.600], Property Owners of real property or Leasehold Property that contains sanitary sewers totaling greater than 1000 feet in length shall submit for EBMUD approval, a condition assessment plan with a schedule to perform testing to assess the condition of all of the sewer laterals on the property to determine compliance with the EBMUD Regional PSL Ordinance. Within 6 years of triggering compliance requirements, such Property Owners shall complete all condition assessment testing and submit a corrective action work plan for EBMUD approval with a copy to the Port's Director of Engineering.

- E. Subsection "H" (Port Exemption) is hereby added to OMC Section 13.08.600 to read as follows:

"(H) Port Exception:

1. A Property Owner may be excepted by written agreement between said Property Owner and the Port by which a party other than the Property Owner, expressly assumes the responsibility for compliance with the City PSL Ordinance, and the EBMUD Regional PSL Ordinance incorporated therein".

Section 4. The Board hereby finds and directs that:

- A. The Port is not a "Property Owner" for the purposes of the EBMUD Regional PSL Ordinance, the City PSL Ordinance or this ordinance. Nonetheless, the Port is committed to participating and furthering the goals of the East Bay Regional Private Sewer Lateral Program.
- B. Notwithstanding the finding in Section 4.A above, the Port will voluntarily proceed where feasible to assess the condition of all Port owned sewer lines on all properties owned by the Port ("Port Controlled Property"), except those sewer lines that are within a Leasehold Property and serve only one tenant. The purpose of such assessment will be to determine whether such Port owned sewer lines comply with standards set forth in Section 5 of the EBMUD Regional PSL Ordinance and OMC Section 13.08.610 (collectively, "Compliance Standards"), which for purposes of this ordinance, will apply to all sewer lines assessed by the Port and not, for the avoidance of doubt, only to private sewer laterals. To this end, the Board directs Port staff to prepare a

"condition assessment plan" for Board approval as soon as feasible, but no later than June 30, 2019. The condition assessment plan will include a schedule for the performance of testing to assess the condition of all Port owned sewer lines on Port Controlled Property.

- C. Once the Port has implemented the condition assessment plan, the Board directs Port staff to prepare a "corrective action work plan" for Board approval which shall describe the type, quantity and schedule of work needed to bring all Port-owned sewer lines on Port Controlled Property into compliance with the Compliance Standards. Port staff shall present such corrective action work plan to the Board no later than June 30, 2023.
- D. After the Board approves the corrective action work plan, the Port shall complete the work described in the approved corrective action work plan, subject to budget appropriations adopted by the Board as part of the Port's capital improvement program or other available sources of funding.

Section 5. The requirements of this ordinance are Local Ordinance Requirements within the meaning of the EBMUD Regional PSL Ordinance. This ordinance is neither intended nor shall it be construed, to alter, or diminish the powers and responsibilities of the Board under the Charter or the Port's practice in the carrying out of its powers and responsibilities.

Section 6. This ordinance shall be effective thirty (30) days after the adoption of this ordinance by the Board.

The Board of Port Commissioners, Oakland, California, April 26, 2018. Passed to print for one day by the following vote: Ayes: Commissioners Colbruno, Cluver, Hamlin, Martinez, Yee and President Story - 6. Excused: Commissioner Butner - 1. Noes: 0.

Daria Edgerly
Secretary of the Board

APPENDIX B

Oakland Municipal Code (“OMC”) Sections (13.080.590 through 13.080.620)

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Oakland Municipal Code: Sections 13.080.590 through 13.080.620

13.08.590 - Enforcement of East Bay Municipal Utility District (EBMUD) Ordinance No. 311, Title VIII, Regulation of Private Sewer Laterals.

The Building Official shall enforce the provisions of EBMUD Ordinance No. 311, Title VIII, Regulation of Private Sewer Laterals and any amendments or modifications to said ordinance, as may be adopted by the City Council. Any permit issued by the Building Official that is subject to compliance with said ordinance shall not be approved or made final by the Building Official unless a certificate of compliance from EBMUD for the sewer lateral is submitted by the applicant.

(Ord. No. 13026, § 1, 7-6-2010)

13.08.600 - Building sewer inspection, replacement, compliance with EBMUD Regional PSL Ordinance, and compliance certificates.

The property owner shall be responsible for inspecting building sewers, obtaining all required permits, performing all necessary building sewer repair or replacement, scheduling inspections with EBMUD, passing a verification test witnessed by EBMUD, obtaining and filing with the City a compliance certificate from EBMUD as set forth in the EBMUD Regional PSL Ordinance for the entire building sewer (upper building sewer lateral and lower building sewer lateral) when one or more of the following events occurs:

- A. Title Transfer. Prior to transferring title associated with the sale of any real property that contains any structure with a building sewer. Title transfer means the sale or transfer of an entire real property estate or the fee interest in that real property estate and does not include the sale or transfer of partial interest, including a leasehold. In addition, the following shall not be included: (1) transfer by a fiduciary in the course of the administration of a decedent's estate, guardianship, conservatorship, or trust, (2) transfers from one co-owner to one or more other co-owners, or from one or more co-owners into or from a revocable trust, if the trust is for the benefit of the grantor or grantors, (3) transfers made by a trustor to fund an inter vivos trust, (4) transfers made to a spouse, to a registered domestic partner as defined in Section 297 of the Family Code, or to a person or persons in the lineal line of consanguinity of one or more of the transferors, (5) transfers between spouses or registered domestic partners resulting from a decree of dissolution of marriage or domestic partnership, or a decree of legal separation or from a property settlement agreement incidental to a decree, (6) transfers from property owners to any financial institution as a result of a foreclosure or similar process.
- B. Construction or Remodeling. Whenever a property owner applies for any permit or other approval needed for construction, remodeling, modification or alteration of any structure with a building sewer where the cost of the work is estimated to exceed \$100,000.00.
- C. Change in Water Services. Whenever a property owner applies for any permit or other approval from the EBMUD for an increase or decrease in size of the owner's water meter.
- D. An Individually-Owned Unit in a Multi-Unit Structure Served by a Common Private Sewer or Shared Laterals such as Condominium or Other Common Interest Development. Within the period of time set forth in the EBMUD Regional Ordinance, the homeowners' association or a responsible party for this type of multi-unit structure shall determine if the sewer lateral(s) is (are) in compliance with the EBMUD Regional PSL Ordinance and perform any necessary repair or replacement work to achieve compliance. Thereafter, re-certification of the sewer lateral shall occur at 20-year intervals.
- E. Property Developments Other Than Those Specified in Subsection D Above With Sanitary Sewers Totaling Greater Than 1,000 Feet in Length. Within the period of time set forth in the EBMUD Regional PSL Ordinance, property owners or responsible parties for property developments with sanitary sewers totaling greater than 1,000 feet in length, shall submit for EBMUD approval, a condition assessment plan with a schedule to perform testing to assess the

condition of all of the sewer laterals on the property to determine compliance with the EBMUD Regional PSL Ordinance. Within the period of time specified in the EBMUD Regional PSL Ordinance, property owners or responsible parties shall complete all condition assessment testing, and submit a corrective action work plan for EBMUD approval. After the work is completed, re-certification of the sewer lateral shall occur at 20-year intervals.

- F. Exception. A property owner with an un-expired sewer lateral compliance certificate or similar documentation from another agency, or with a dated approved building/sewer permit from a permitting authority indicating that the sewer lateral was replaced in total within ten years of the period of time set forth in the EBMUD Regional PSL Ordinance may submit the information to EBMUD along with a request for an exemption certificate. Upon review and approval, an exemption certificate will be issued by EBMUD.
- G. Dangerous and Insanitary Sewer Condition. Whenever a dangerous or insanitary sewer condition is found as set forth by this chapter and a notice to abate is provided according to the procedure established by the Director of Public Works.

(Ord. No. 13080, § 2, 7-19-2011)

13.08.610 - Responsibility and standards for maintenance of upper and lower building sewer laterals.

It shall be the responsibility of the property owner to perform all required maintenance, repairs and replacement of the upper and lower building sewer lateral in accordance with EBMUD's and the City's ordinance requirements. Standards for maintenance of the upper and lower building sewer lateral are set forth below:

- A. The upper and lower building sewer lateral shall be kept free from roots, grease deposits, and other solids, which may impede or obstruct the flow.
- B. All joints shall be watertight and all pipes shall be sound.
- C. The upper and lower building sewer lateral pipe shall be free of any structural defects such as fractures, cracks, breaks, openings, or missing portions.
- D. All cleanouts shall be securely sealed with a proper cap or approved overflow device at all times.
- E. There shall be no non-sanitary sewer connections to the upper or lower sewer lateral or to any plumbing that connects to the upper or lower sewer lateral.

(Ord. No. 13080, § 3, 7-19-2011)

13.08.620 - Adoption of the EBMUD Regional PSL Ordinance by reference.

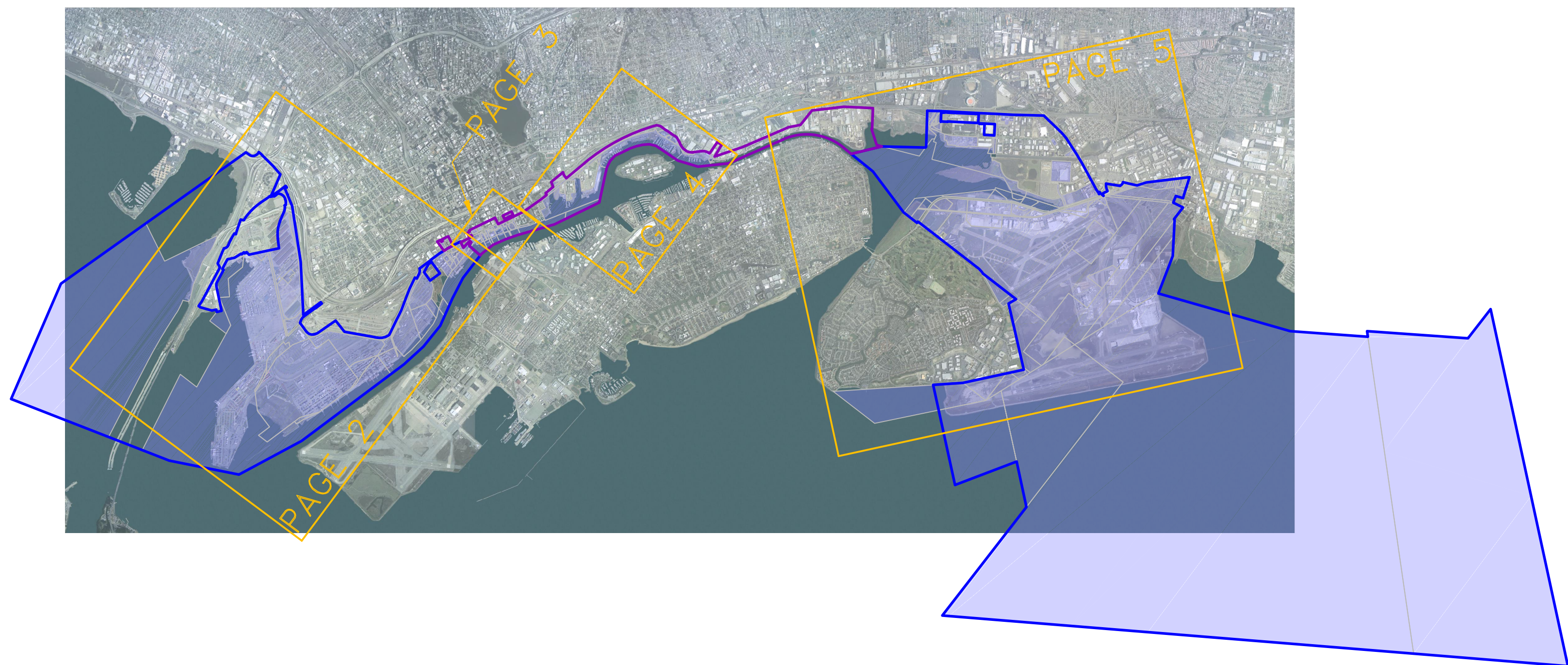
The East Bay Municipal Utility District Ordinance 311, Title VIII; Regulation of Upper Sewer Laterals is hereby adopted by reference. The City Council may adopt amendments or modifications to the ordinance thereto, as the ordinance may be amended or modified by EBMUD.

(Ord. No. 13080, § 4, 7-19-2011)




APPENDIX C

Port Owned Land and Port Jurisdiction Maps

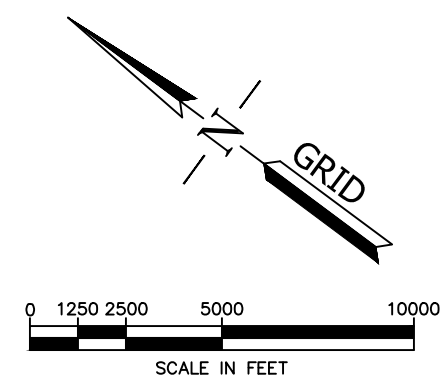
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LEGEND

-  Port-owned property
-  Port Area jurisdiction
-  Port Area jurisdiction subject to City Ordinance 12229 C.M.S. *

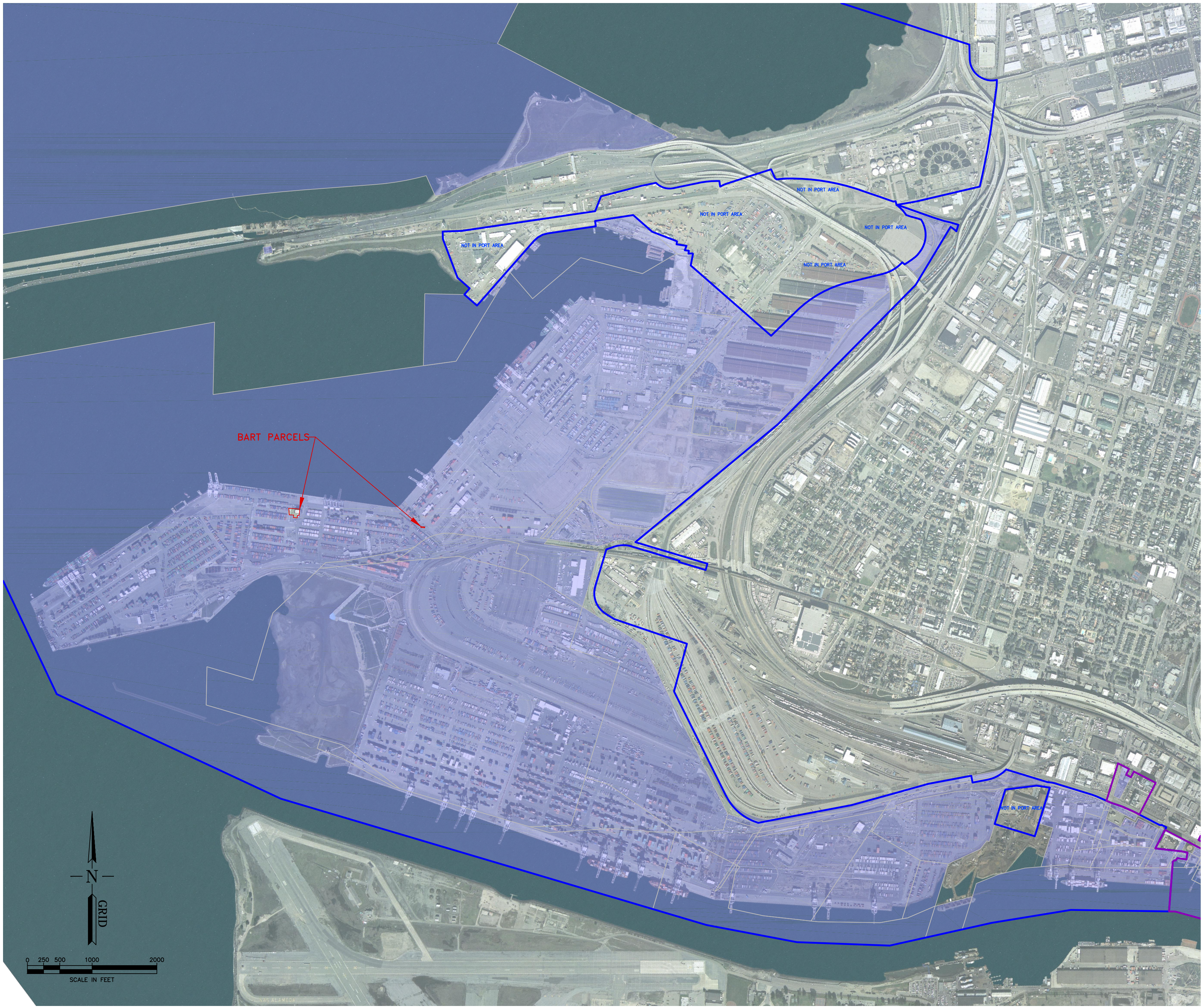
* City Ordinance 12229 C.M.S. temporarily relinquishes planning authority within a portion of the Port Area jurisdiction for the Estuary Policy Plan Area.



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PROPERTY OWNED BY
PORT OF OAKLAND

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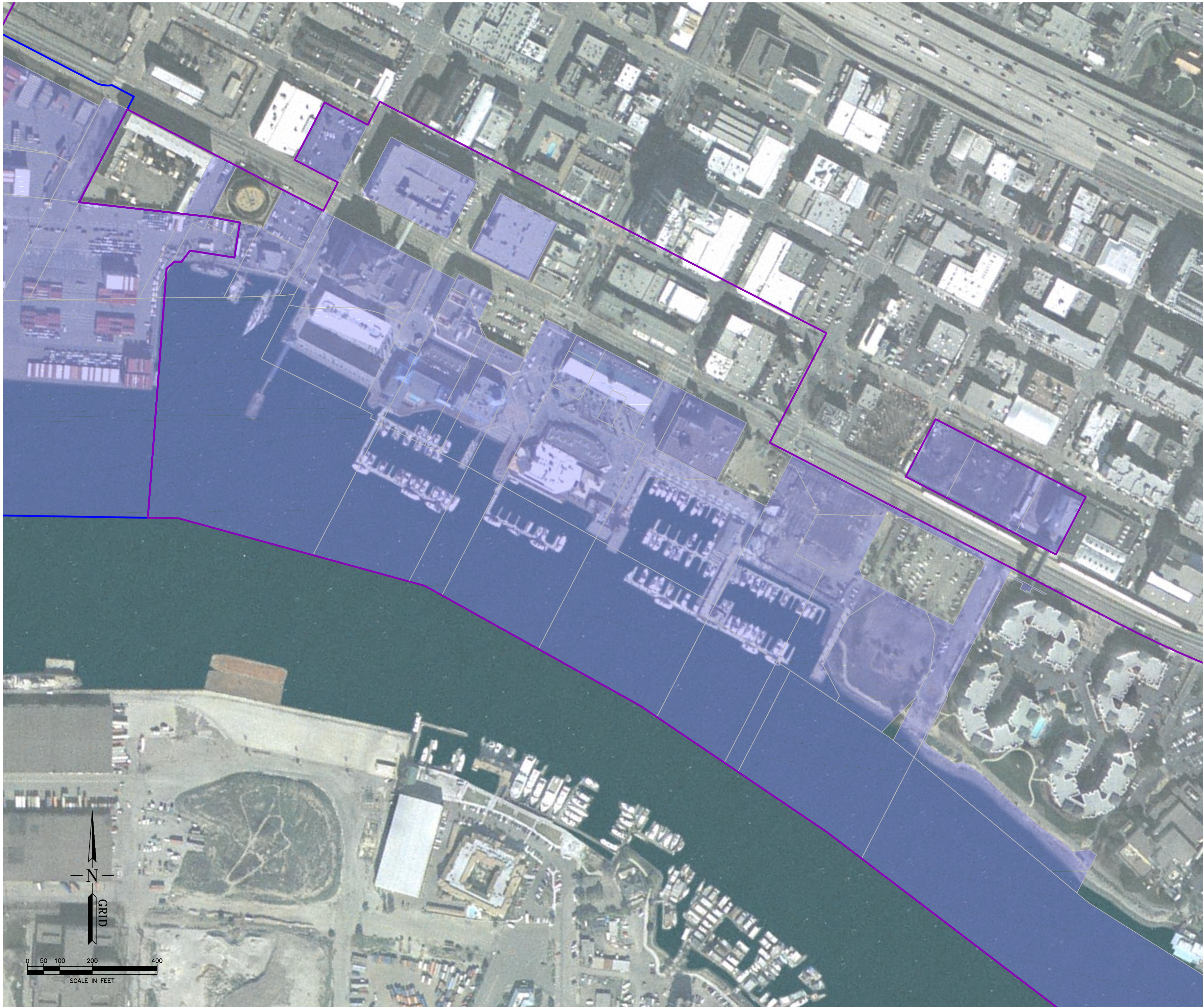
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SCALE:	1"= 5000'
PAGE	1 OF 5



MARITIME AREA
PROPERTY OWNED BY
PORT OF OAKLAND

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PAGE	2 OF 5



JACK LONDON SQUARE
PROPERTY OWNED BY
PORT OF OAKLAND

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DATE: 11/04/13
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PAGE 3 OF 5



PORT OF OAKLAND
LAND SURVEYS AND MAPPING

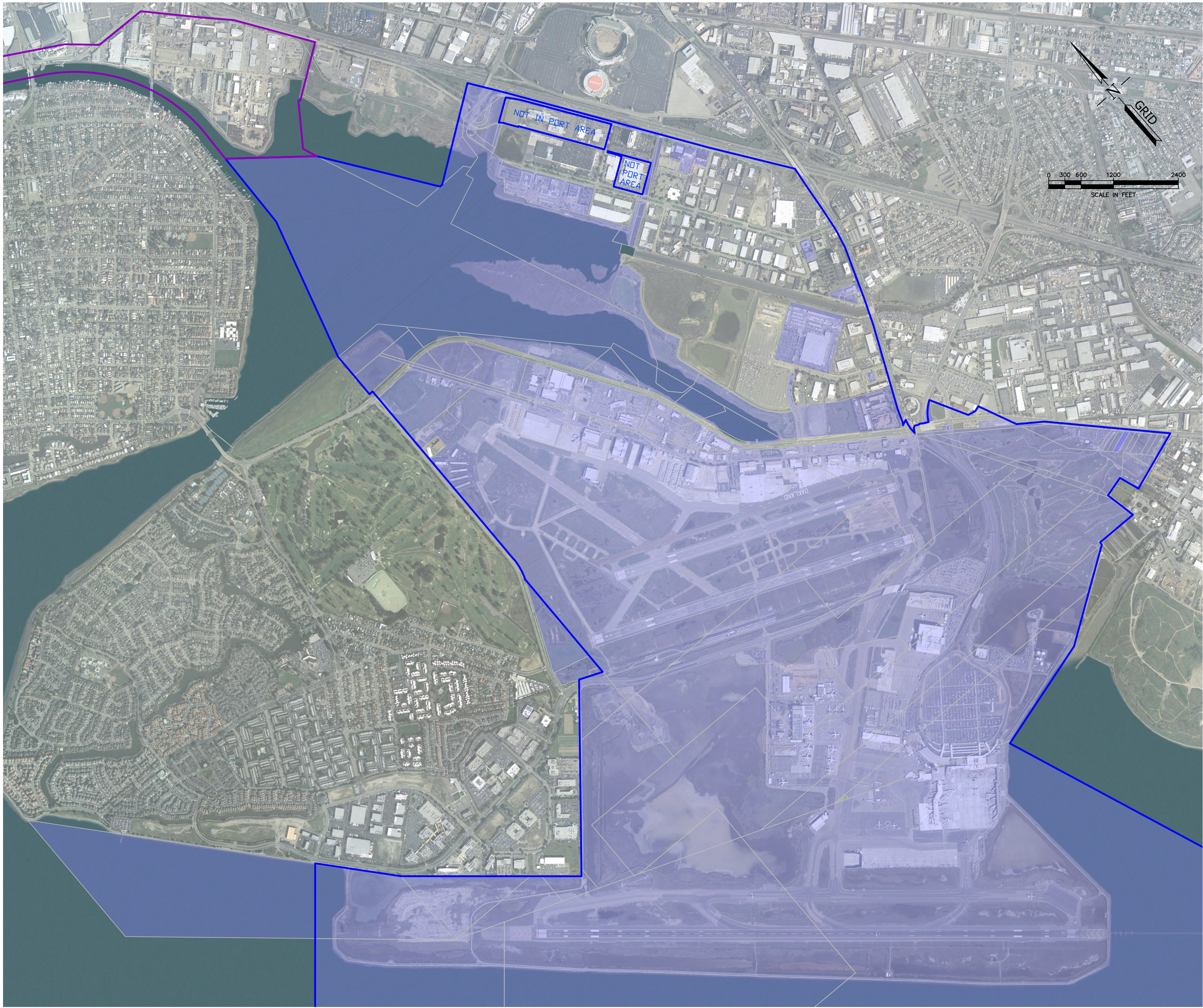


530 Water Street
Oakland, California
(510) 627-1100

OAKLAND ESTUARY
PROPERTY OWNED BY
PORT OF OAKLAND

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DATE: 11/04/13
SCALE: 1"= 500'
PAGE 4 OF 5



PORT OF OAKLAND
LAND SURVEYS AND MAPPING
530 Water Street
Oakland, California
(510) 627-1100



AIRPORT & VICINITY
PROPERTY OWNED BY
PORT OF OAKLAND

FILENAME: PORT-PROP_R2.DWG

DRAWN BY: DAM

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JOB:

DATE: 11/04/13

SCALE: 1" = 1200'

PAGE 5 OF 5

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APPENDIX D

East Bay Municipal Utility District – Private Sewer Lateral Permit Procedure and Building Sewer Integrity Verification Procedure

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PSL Permit Procedure Summary

The Port and applicable tenants shall follow the following steps for obtaining EBMUD PSL Compliance Certificates:

1. Apply for permit or other required approvals from City of Oakland or EBMUD for proposed Tenant Project

The Port requires its tenants to apply for and obtain permits and approvals required by the City of Oakland prior to initiating improvement projects within their Leasehold Properties. Similarly, a tenant must apply and obtain an EBMUD approval for a change in its building water meter size.

If the permit or approval applications meet the triggering event threshold defined in the Port's PSL Ordinance, the tenant will be notified by the City of Oakland or EBMUD that it must comply with the PSL testing and rehabilitation project.

2. Determine if the existing PSL is in compliance with EBMUD integrity criteria

If directed by the City or EBMUD, the tenant will be required to hire a qualified contractor to check their private sewer laterals for leaks and other defects. Typically, the tenant would hire a qualified contractor who will advise if corrective work is needed for the tenant's sewers to pass the appropriate verification tests. If no work is required, the tenant may proceed to Step 4. If work is required, a corrective action work plan must be developed.

3. Repair or replace the PSL if necessary

The tenants' contractor will repair or replace the tenant sewers as necessary to obtain the EBMUD certification.

4. Schedule a PSL verification test

The tenant's contractor can then schedule a date and time for an EBMUD inspector to witness the verification test set up and performance by the contractor. This can be done at www.eastbaypsl.com.

5. Pass verification test and obtain EBMUD PSL Compliance Certificate

Once the EBMUD inspector verifies that the tenant's sewers have passed the verification tests, the tenant must print its EBMUD PSL Compliance Certificate using www.eastbaypsl.com. The Certificate will define whether the EBMUD approval is good for either a 7-year or 20-year duration.

6. Present Compliance Certificate to the Port

The tenant must provide a copy of the EBMUD PSL Compliance Certificate to the Port of Oakland permit office for registration in the Port's information table.

Hydrostatic Water Verification Test

The Leaseholder or its contractor provides the below materials and equipment as necessary to conduct the hydrostatic water test:

- Appropriate pipe test plugs and caps to be used during lateral testing.
- A standpipe that can be connected to the building cleanout riser to allow a pressure head of 5 feet (60 inches) above the highest point of the lateral section being tested. The diameter of the standpipe is to be no greater than 4 inches and nor less than 2 inches.

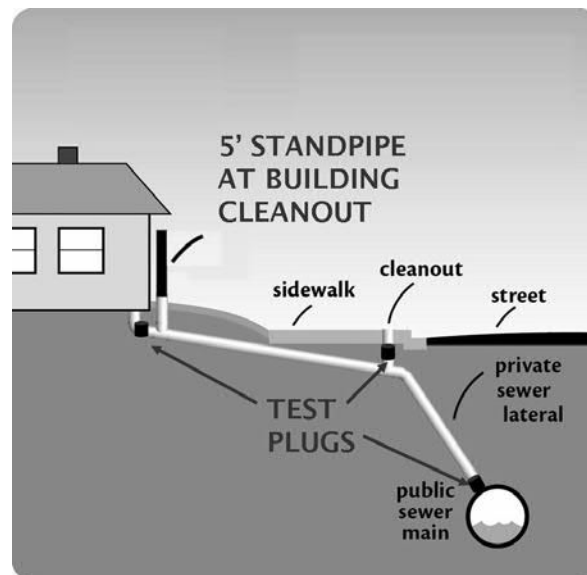


Figure D-1. Hydrostatic Water Test Setup

Testing Procedure

- The entire lateral under the responsibility of the Leaseholder must be tested. To test the lateral, the sewer lateral is to be plugged immediately upstream of the connection to the downstream collector sewer main and as close to the tenant building as possible. If needed, a wye connection may be installed for the insertion of a testing plug in the lateral just above the joint at the collector sewer main. After the test is complete, the wye should be capped and buried. If there is a cleanout present near the Leasehold Property, plug the cleanout riser using an airtight cleanout cover or plug located near the top of the cleanout riser. *Failure to bleed the air out of the cleanout riser while filling the pipe with water may result in a failed test.*
- Install a temporary standpipe at the building cleanout with the open end 5 feet (60 inches) above the highest point of the PSL section being tested.
- Fill the standpipe with water and monitor it for at least 5 minutes or until the water level becomes stable. Add water as needed to maintain 5 feet of head at the top of the standpipe. The water level is stable when there is no observed drop in

the water level of the standpipe.

- Begin the test. No water may be added to the standpipe once the test has started. The lateral passes the test if there is no observable water loss at the top of the 5 foot standpipe after five minutes.

Low Pressure Air Verification Test

The Leaseholder or its contractor provides the below materials and equipment as necessary to conduct the test:

- Appropriate pipe test plugs and caps to be used during lateral testing.
- A test assembly that allows the application of pressurized air to the pipe being tested, provides connections for the air pressure gauge, and includes a 3/8" female pipe thread connection to allow a second pressure test gauge to be connected in parallel to the pressure test gauge.
- A pressure test gauge that is in good working order and has a range of 0 to 10 pounds per square inch (psi) that can be accurately read to 0.1 psi.
- A reliable source of pressurized air with a pressure regulator as needed to conduct the test.

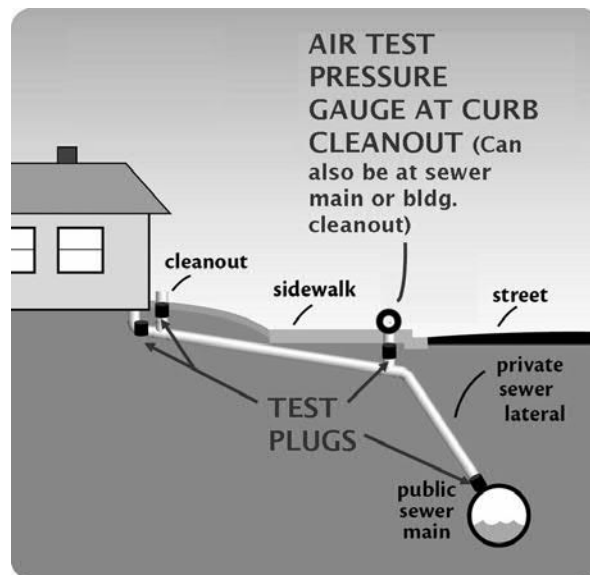


Figure D-2. Low Pressure Air Test Setup

Testing Procedure

- The entire lateral under the responsibility of the Leaseholder, must be tested. To test the lateral, the sewer lateral is to be plugged immediately upstream of the connection to the downstream collector sewer main and as close as possible to the tenant building. If needed, a wye connection may be installed for the insertion of a testing plug in the lateral just above the joint at the collector sewer main. After the test is complete, the wye should be capped and buried. If there is a cleanout present near the Leasehold Property, plug the cleanout riser using an airtight

cleanout cover or plug located near the top of the cleanout riser.

- Apply pressurized air to the test assembly and raise the internal pressure to approximately 4 psi. Pressure may be applied from either end of the lateral.
- Maintain the internal air pressure between 3.5 and 4.0 psi for at least two minutes to allow the air pressure and internal temperature to stabilize. The minimum starting pressure is 3.5 psi.
- Disconnect the pressurized air supply and begin timing the test. No additional air may be added once the test has started.
- The lateral passes the test if the pressure does not drop more than one psi in five minutes.

APPENDIX E

Port of Oakland PSL Tenant & Building Service Lateral Lists

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Port of Oakland - PSL Tenant & Building Service Lateral List
Aviation Area

Tenant (Lessee) Name	Building Number	Location/Site Address	APN	PSL Responsibility	Building Service Laterals (LF) ⁽¹⁾	Tenant Common Length (LF) ⁽²⁾	Total PSL Length (LF) ⁽²⁾⁽³⁾
Chevron	L-881 (Hangar # 10)	7799 Earhart Rd.	42-4404-11-2	Tenant	670	0	670
Civil Air Patrol	L-712	8053 Old Earhart Rd.	42-4404-11-2	Tenant	33	0	33
Consolidated Rent A Car Facility	L-705	7600 Earhart Rd.	42-4404-3	Tenant	2045	0	2045
DHL Express	L-812	7201 Earhart Rd.	42-4404-4	Tenant	149	0	149
EBMUD	EBMUD Lift Station G Influent Sewer	Earhart Rd.	42-4404-11-2	Tenant	0	29	29
FedEx	E	1 Sally Ride Way	42-4540-2-1	Tenant	449	0	2942
	F	1 Sally Ride Way	42-4540-2-1	Tenant	26	0	
	G	1 Sally Ride Way	42-4540-2-1	Tenant	95	0	
	H	1 Sally Ride Way	42-4540-2-1	Tenant	130	0	
	M 132	1 Sally Ride Way	42-4540-2-1	Tenant	269	0	
	M 141	1 Sally Ride Way	42-4540-2-1	Tenant	439	0	
	M 142	1 Sally Ride Way	42-4540-2-1	Tenant	514	0	
	Tenant Common Line	1 Sally Ride Way	42-4540-2-1	Tenant	0	1019	
Fox Rent-A-Car	L-814	7480 Earhart Rd.	42-4404-4	Tenant	56	0	56
Kaiser Air Inc.	L-230	9061 Earhart Rd.	42-4404-11-2	Tenant	74	0	1063
	L-310 (Hangar # 3)	8991 Earhart Rd.	42-4404-11-2	Tenant	382	0	
	L-410 (Hangar # 4)	8755 Earhart Rd.	42-4404-11-2	Tenant	238	0	
	L-411	8755 Earhart Rd.	42-4404-11-2	Tenant	340	0	
	L-414	8755 Earhart Rd.	42-4404-11-2	Tenant	29	0	
Rental Car Service/QTA	N	7800 Earhart Rd.	42-4404-5	Tenant	384	0	3067
	O	7800 Earhart Rd.	42-4404-5	Tenant	188	0	
	L-613	8000 Earhart Rd.	42-4404-5	Tenant	382	0	
	L-747	222 Langley	42-4404-5	Tenant	526	0	
	Tenant Common Line	NA	42-4404-5	Tenant	0	1588	
Rolls Royce	L-815	7200 Earhart Rd.	42-4404-3	Tenant	140	0	140
Signature Flight Support	L-820 (Hangar # 9)	7683 Earhart Rd.	42-4404-4	Tenant	282	0	2603
	L-142	9351 Earhart Rd.	42-4404-11-2	Tenant	973	0	
	L-150	9255 Earhart Rd.	42-4404-11-2	Tenant	288	0	
	L-510 (Hangar # 5)	8517 Earhart Rd.	42-4404-11-2	Tenant	230	0	
	L-610 (Hangar # 6)	8291 Earhart Rd.	42-4404-11-2	Tenant	234	0	
	L-550 Exec. Term.	8433 Earhart Rd.	42-4404-11-2	Tenant	384	0	
	Tenant Common Line	NA	42-4404-11-2	Tenant	0	212	
Southwest Airlines	L-617	8300 Earhart Rd.	42-4404-11-2	Tenant	53	0	107
	L-618	8300 Earhart Rd.	42-4404-11-2	Tenant	54	0	
Swissport	M 133	2 Edward White Way	42-4540-2-1	Tenant	377	0	377
AC Sheriff Office and Garage	L-311	8980 Earhart Rd.	42-4404-11-2	Port	336	0	336
Aviation Facility Complex	L-591	8500 Earhart Rd.	42-4404-9	Port	87	0	238
	L-597	8500 Earhart Rd.	42-4404-5	Port	23	0	
	L-595	8500 Earhart Rd.	42-4404-5	Port	17	0	
	L-599	8500 Earhart Rd.	42-4404-5	Port	111	0	
Aviation Museum	L-621	8252 Earhart Rd	42-4404-5	Port	318	0	318
CITY OF OAKLAND - OPD. Next Century Aviation	L-710 Bay B & D (Hangar # 7)	7951 Earhart Rd.	42-4404-11-2	Port	171	0	171
Federal Aviation Administration	L-827	1029 Grumman St. LAND LEASE	42-4404-3	Port	105	0	310
	L-828	1025 Grumman St. LAND LEASE	42-4404-3	Port	205	0	
Oakland Flyers	L-606	8135 Old Earhart Rd.	42-4404-11-2	Port	94	0	94
Oakland International Airport - Terminal 1	M 101, M 102, M 103, M 104, M 106, M 112, M 114, M 128, M 150, M 152, M 157, M 158, M 162, M 164, XU 70, XW 80	1 Airport Dr.	42-4540-2-142-4545-1	Port	0	4320	4320
Oakland International Airport - Terminal 2	M 130, M 363, M 367, M 368, M 371	1 Airport Dr.	42-4540-2-142-4545-1	Port	0	3019	3019
PG&E, Safeway Inc	L-810 Bay A & C (Hangar # 8)	7840 Earhart Rd.	42-4404-11-2	Port	48	0	48

Port of Oakland - PSL Tenant & Building Service Lateral List							
Aviation Area							
Tenant (Lessee) Name	Building Number	Location/Site Address	APN	PSL Responsibility	Building Service Laterals (LF) ⁽¹⁾	Tenant Common Length (LF) ⁽²⁾	Total PSL Length (LF) ⁽²⁾⁽³⁾
Port	To Be Abandoned	Various	NA	Port	0	705	42155
	TBD ⁽⁴⁾	NA	NA	Port	0	1475	
	Common Line	NA	NA	Port	0	39975	
Restrooms	L-928	N. Airport Restroom Facility	42-4404-11-2	Port	255	0	255
Seastrand Engineering.	L-118	9625 Earhart Rd.	42-4404-11-2	Port	43	0	43
Signature Flight Support	L-710 Bay A & C (Hangar # 7)	7951 Earhart Rd.	42-4404-11-2	Port	0	464	832
	L-810 (Hangar # 8)	7843 Earhart Rd.	42-4404-11-2	Port	0	368	
Soccer Field (Restroom)	L-911		42-4404-11-2	Port	1036	0	1036
Total Airport Services, LLC	L-553	8450 Earhart Rd.	42-4404-11-2	Port	92	0	92
Vacant	L-151 (Hangar # 1)	9260 Earhart Rd.	42-4404-11-2	Port	57	0	115
	L-551	8400 Earhart Rd.	42-4404-11-2	Port	58	0	
Vacant. TBD	L-210 (Hangar # 2)	9171 Earhart Rd.	42-4404-11-2	Port	184	0	269
	L-231	9171 Earhart Rd.	42-4404-11-2	Port	86	0	
Washrack	L-877	N. Airport	42-4404-4	Port	317	0	317

- Notes:
- 1) Building service lateral quantities approximate only.
 - 2) Table does not include force mains.
 - 3) PSL quantities may represent cumulative totals across multiple Leasehold properties.
 - 4) Service laterals requiring field verification to determine whether they remain active.

Port of Oakland - PSL Tenant & Building Service Lateral List
Maritime Area

Tenant (Lessee) Name	Terminal Name	Building Number ⁽¹⁾	Location/Site Address	APN	PSL Responsibility	Building Service Laterals (LF) ⁽²⁾	Common Gravity Sewers (LF) ⁽³⁾⁽⁴⁾⁽⁵⁾	Total PSL Length (LF) ⁽³⁾⁽⁴⁾⁽⁵⁾
AMPCO	-	E418	1 Market St	18-410-1-5	Tenant	405	0	405
Bay Area Rapid Transit	-	TL-337	2800 7Th St	18-320-1-2	Tenant	112	0	112
BNSF	-	TL-360	333 Maritime Street	18-355-2-1	Tenant	364	0	1000
	-	TL-123	333 Maritime Street	18-355-2-1	Tenant	28	0	
	-	Tenant Common Line	333 Maritime Street	18-355-2-1	Tenant	0	426	
City Of Oakland	-	Tenant Common Line	NA	NA	Tenant	0	25294	25294
CoolPort Oakland LLC	-	TL-341	575 Maritime St	18-355-2-1	Tenant	2850	0	2850
EBMUD	-	Tenant Common Line	7th Street	18-375-4-2	Tenant	0	934	934
Everport Terminal Services, Inc.	Ben E Nutter Terminal	C558	5190 7th Street	18-350-1	Tenant	218	0	2237
		C531	5191 7th Street	18-350-1	Tenant	606	0	
		C532	5192 7th Street	18-350-1	Tenant	760	0	
		C548	5193 7th Street	18-350-1	Tenant	176	0	
		C519	5194 7th Street	18-350-1	Tenant	478	0	
GSC Logistics	-	D512	555 Maritime St	18-355-2-1	Tenant	417	0	634
	-	TL-359	555 Maritime St	18-355-2-1	Tenant	217	0	
Impact Transportation	-	R805	2498 West 18Th St	18-507-1-8	Tenant	50	0	452
	-	R806	2498 West 18Th St	18-507-1-8	Tenant	40	0	
	-	Tenant Common Line	2498 West 18Th St	18-507-1-8	Tenant	0	362	
Lengner and Sons Express	-	B208	1599 Maritime St	18-320-1-2	Tenant	89	0	89
Occupational Testing	-	XS14	1 Market Street	18-405-1	Tenant	140	0	315
	-	E434	1 Market Street	18-405-1	Tenant	175	0	
Pacific Layberthing South	-	TL-300	1599 Maritime St	18-320-1-2	Tenant	991	0	991
Pacific Maritime	-	Tenant Common Line	1 Market Street	18-410-1-5	Tenant	0	390	394
	-	TL-346	1 Market Street	18-410-1-5	Tenant	3	0	
Port	Port	Common Line	NA	NA	Port	0	26007	49004
		C547	4001 7Th St	18-350-1	Port	149	0	
		R090	2565 Buna St	18-507-1-2	Port	302	0	
		B317	1599 Maritime St	18-320-1-2	Port	143	0	
		TL-257	1579 Middle Harbor Rd	18-385-1	Port	104	0	
		TL-291	710 Maritime St	18-315-2-4	Port	66	0	
		B208	1599 Maritime St	18-320-1-2	Port	79	0	
		TL-358	1599 Maritime St	18-320-1-2	Port	124	0	
		B213	1599 Maritime St	18-320-1-2	Port	57	0	
		B107	1599 Maritime St	18-320-1-2	Port	37	0	
		D504	750 Maritime St	18-315-3-4	Port	28	0	
		D501	750 Maritime St	18-315-3-4	Port	50	0	
		TL-56	750 Maritime St	18-315-3-4	Port	48	0	
		C409	4001 7Th St	18-355-5-12	Port	416	-	
		R099	2585 Buna St	18-507-1-2	Port	31	0	
		C408	4001 7Th St	18-350-1	Port	281	0	
		D510	651 Maritime St	18-355-1-2	Port	1098	0	
		TL-70	2777 Middle Harbor Rd	18-355-2-1	Port	10	0	
		TL-21	2470 West 14Th St	18-507-1-8	Port	57	0	
		R803	2498 W 16Th St	18-507-1-8	Port	38	0	
	To Be Abandoned	Common Line	Berth 20-24	NA	Port	0	1019	
		TL-355	Berth 20-24	18-320-1-2	Port	183	0	
	To Be Plugged	Common Line	NA	NA	Port	0	16256	
		TL-120	555 Maritime St	18-355-2-1	Port	476	0	
		TL-284	7th Street	18-355-2-1	Port	241	0	
		B323	1599 Maritime St	18-320-1-2	Port	244	0	
		TL-340	1700 Maritime St	18-375-6-1	Port	196	0	
		TL-356	Berth 20-24	18-320-1-2	Port	16	0	
		TL-357	Berth 20-24	18-320-1-2	Port	40	0	
		B108	1599 Maritime St	18-320-1-2	Port	413	0	

Port of Oakland - PSL Tenant & Building Service Lateral List
Maritime Area

Tenant (Lessee) Name	Terminal Name	Building Number ⁽¹⁾	Location/Site Address	APN	PSL Responsibility	Building Service Laterals (LF) ⁽²⁾	Common Gravity Sewers (LF) ⁽³⁾⁽⁴⁾⁽⁵⁾	Total PSL Length (LF) ⁽³⁾⁽⁴⁾⁽⁵⁾
Port	To Be Plugged	TL-364	1999 Middle Harbor Rd	18-355-2-4	Port	474	0	
		TL-50	2500 7Th St	18-320-1-2	Port	176	0	
		D502	1749 Middle Harbor Rd	18-315-3-4	Port	144	0	
Sea Logix	-	B207	1425 Maritime St	18-320-1-2	Tenant	71	0	203
		B321	1601 Maritime St	18-320-1-2	Tenant	133	0	
Stevedoring Services of America Terminals, Inc. (SSA)	Matson Terminal	Tenant Common Line	1579 Middle Harbor Rd	18-385-1	Tenant	0	3004	4105
		TL-257	1579 Middle Harbor Rd	18-385-1	Tenant	375	0	
		TL-258	1579 Middle Harbor Rd	18-385-1	Tenant	68	0	
		TL-259	1335, 1347 Middle Harbor Rd	18-385-1	Tenant	172	0	
		TL-260	1579 Middle Harbor Rd	18-385-1	Tenant	107	0	
		TL-365	1579 Middle Harbor Rd	18-385-1	Tenant	128	0	
		TL-366	1579 Middle Harbor Rd	18-385-1	Tenant	70	0	
		E224	1579 Middle Harbor Rd	18-385-1	Tenant	182	0	
	Oakland International Container Terminal	Tenant Common Line	2505 Middle Harbor Rd	18-355-2-1	Tenant	0	6349	9839
		D121	2505 Middle Harbor Rd	18-355-2-1	Tenant	68	0	
		D118	2505 Middle Harbor Rd	18-355-2-1	Tenant	122	0	
		D132	1999 Middle Harbor Rd	18-355-7	Tenant	16	0	
		D133	1999 Middle Harbor Rd	18-355-7	Tenant	10	0	
		TL-124	2505 Middle Harbor Rd	18-355-2-1	Tenant	206	0	
		TL-131	1999 Middle Harbor Rd	18-355-2-1	Tenant	26	0	
		TL-132	2505 Middle Harbor Rd	18-355-2-1	Tenant	17	0	
		TL-135	1999 Middle Harbor Rd	18-355-9	Tenant	57	0	
		D134	1999 Middle Harbor Rd	18-355-9	Tenant	10	0	
		TL-362	2505 Middle Harbor Rd	18-355-2-1	Tenant	458	0	
		TL-71	2505 Middle Harbor Rd	18-355-2-1	Tenant	305	0	
		D115	2505 Middle Harbor Rd	18-355-2-1	Tenant	431	0	
		D125	2505 Middle Harbor Rd	18-355-4	Tenant	112	0	
		D120	2505 Middle Harbor Rd	18-355-2-1	Tenant	322	0	
		TL-76	1999 Middle Harbor Rd	18-335-2-1	Tenant	92	0	
		TL-77	1999 Middle Harbor Rd	18-355-2-1	Tenant	420	0	
		TL-78	1999 Middle Harbor Rd	18-355-2-1	Tenant	41	0	
		D851	1717 Middle Harbor Rd	18-385-8	Tenant	246	0	
		D137	1999 Middle Harbor Rd	18-385-4	Tenant	531	0	
TraPac	TraPac Terminal	Tenant Common Line	2800 7th Street	18-355-5-12	Tenant	0	287	3322
		TL-279	2800 7th Street	18-355-5-12	Tenant	110	0	
		TL-280	2800 7th Street	18-355-5-12	Tenant	487	0	
		TL-281	2800 7th Street	18-320-1-2	Tenant	17	0	
		C411	2800 7th Street	18-355-5-12	Tenant	72	0	
		TL-284	2800 7th Street	18-355-2-1	Tenant	8	0	
		TL-284	2800 7th Street	18-355-2-1	Tenant	1292	0	
		C411	2800 7th Street	18-355-5-12	Tenant	541	0	
		TL-352	2800 7th Street	18-355-5-12	Tenant	507	0	
Villegas Diesel Tech	-	TL-41	2450 W. 14Th St	18-507-1-8	Tenant	185	0	185
XPO Logistics	-	TL-146	1 Market Street	18-405-1	Tenant	38	0	38

Notes:

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- 2) Building service lateral quantities approximate only.
- 3) Table does not include force mains.
- 4) Totals do not include sewers in the section of the Port's section of the former Oakland Army Base which is under redevelopment.
- 5) Totals do not include sewers in the City of Oakland section of the former Oakland Army Base.

Port of Oakland - PSL Tenant & Building Service Lateral List
Commercial Real Estate Area

Tenant (Lessee) Name	Business Name	Location/Site Address	Building Number ⁽¹⁾	APN	PSL Responsibility	Building Service Laterals (LF) ⁽²⁾	Common Gravity Sewers (LF) ⁽³⁾	Total PSL Length (LF) ⁽³⁾
Alta Supply, Inc.	Alta Supply Inc. and American Lung Association	424 Pendleton Way	K-401	#N/A	Tenant	16	0	16
Ana Chretien	ABC Security	1840 Embarcadero	Tenant Common Line	#N/A	Tenant	0	92	92
Brotzeit-Lokal, LLC	Brotzeit-Lokal, LLC	1000 Embarcadero Cove	H-316	18-470-2-2	Tenant	119	0	119
California Generator Service	California Generator Services, Nisei Plastics, Geological Design Kitchen and Bath	7719 - 7723 Oakport St.	K-506	42-4435-1-13	Tenant	91	0	91
Dow-Pac Properties/Regal Cinemas LLC.	Regal Cinemas	100 Washington Street	F-602	1-135-4	Tenant	19	0	19
Duong Estuary Cove, LLC	Tactica Krav Maga Institute, Subway, Starbucks, ERA Michael James Co.	1211 Embarcadero	P-117	18-475-2	Tenant	543	0	543
East Bay Regional Parks District	East Bay Regional Parks District	7001 Edgewater Drive	K-310	42-4404-1	Tenant	1224	0	1224
Edgar M. Buttner Trust	Superior Home Specialists, LLC	7729-31 Oakport St.	K-512	42-4435-1-13	Tenant	45	0	45
Embarcadero Business Park, LLC	Alameda County Healthy Homes Department	2000 Embarcadero Ste. 100	J-229	18-490-1-1	Tenant	358	0	358
Embarcadero Executive Inn & Suites	Executive Inn & Suites, Best Western	1755 Embarcadero	P-329	18-485-2	Tenant	745	0	974
	Executive Inn & Suites, Best Western	1755 Embarcadero	P-404	18-485-2	Tenant	229	0	
Executive Business Park	Family Builders By Adoption	1900 Embarcadero	J-228	18-490-1-1	Tenant	308	0	308
Hadal, Inc.	Hadal	1363 Embarcadero	P-104	18-475-2	Tenant	36	0	36
Herc Rentals	Herc Rentals ProSolutions	7727 Oakport St.	K-505	42-4435-1-13	Tenant	88	0	88
Hilton Hotels Corp.	Hilton Hotels Corp.	One Hegenberger	K-112	42-4410-1-18	Tenant	472	0	2477
	Hilton Hotels Corp.	One Hegenberger	K-113	42-4410-1-18	Tenant	600	0	
	Hilton Hotels Corp.	One Hegenberger	K-115	42-4410-1-18	Tenant	613	0	
	Hilton Hotels Corp.	One Hegenberger	Tenant Common Line	42-4410-1-18	Tenant	0	793	
Jack London Square Associates, LLC	Visit Oakland Center	489 Water Street	F-114	TBD	Tenant	46	0	46
JLSA/Lungomare & The Waterfront	Waterfront Hotel, Lungomare	10 Washington Street	F-527	18-415-5	Tenant	415	0	415
Motel 6	Motel 6	1801 Embarcadero	P-326	18-485-2	Tenant	201	0	685
	Motel 6	1802 Embarcadero	P-328	18-485-3	Tenant	255	0	
	Motel 6	1803 Embarcadero	Tenant Common Line	18-485-4	Tenant	0	229	
NorCal Rentals Group, LLC	Cresco Equipment Rentals	295 Hegenberger	K-403	42-4425-15-2	Tenant	209	0	209
Oakland Clay Partners, LLC	Rosenblum Cellars	10 Clay St.	F-120	18-410-1-5	Tenant	440	0	440
Oakland Hospitality LLC	Homewood Suites by Hilton	1103 Embarcadero	H-313	18-470-2-2	Tenant	501	0	1033
	Homewood Suites by Hilton	1104 Embarcadero	P-107	18-470-2-3	Tenant	532	0	
Restaurants Unlimited/Kincaid's	Kincaid's Oakland	One Franklin St.	F-102	18-415-5	Tenant	149	0	149
Scott's Jack London Seafood Inc.	Scott's Seafood Grill & Bar	Two Broadway	F-106	18-415-5	Tenant	53	0	53
Transfer Case Express, Inc.	Transfer Case Express	1285 Embarcadero	P-106	18-475-2	Tenant	39	0	39
United Parcel Service	United Parcel Service	8400 Pardee Drive	K-125	42-4420-6-3	Tenant	151	0	918
	United Parcel Service	8401 Pardee Drive	Tenant Common Line	42-4420-6-4	Tenant	767	0	
Valet Hospitality Services	Pavilion Garage	98 Broadway	F-111	18-415-2	Tenant	187	0	187
Van Matre Lumber Company	Van Matre Lumber	251 - 5th Avenue	G-315	18-455-18	Tenant	49	0	49
William Foreman (and Shannon)	TBD (J224), Shelly A. Gordon, Gaming Fund Group, Cook Disharoon & Greathouse Insurance Brokers	1940 - 1946 Embarcadero	J224	18-490-2	Tenant	43	0	346
		1940 - 1946 Embarcadero	J225	18-490-2	Tenant	46	0	
		1940 - 1946 Embarcadero	J226	18-490-2	Tenant	35	0	
		1940 - 1946 Embarcadero	J227	18-490-2	Tenant	59	0	
		1940 - 1946 Embarcadero	Tenant Common Line	18-490-2	Tenant	0	163	
EBMUD	EBMUD San Antonio Creek Wet Weather Facility	San Antonio Creek	TBD	18-455-17 & 18-430-1-8	Tenant	265	0	265
City of Oakland	Jack London Aquatic Center	115 Embarcadero	G-206		Tenant	175	0	8565
	City of Oakland	NA	Common Line	NA	Tenant	0	8045	
	City of Oakland	Union Point Park	J-340	18-505-1	Tenant	219	0	
	City of Oakland	8501 Pardee Dr. - Fire Station 27	K-116	42-4410-1-17	Tenant	40	0	
	City of Oakland	7101 Edgewater Dr.	K-605	41-3902-20	Tenant	87	0	

Port of Oakland - PSL Tenant & Building Service Lateral List
Commercial Real Estate Area

Tenant (Lessee) Name	Business Name	Location/Site Address	Building Number ⁽¹⁾	APN	PSL Responsibility	Building Service Laterals (LF) ⁽²⁾	Common Gravity Sewers (LF) ⁽³⁾	Total PSL Length (LF) ⁽³⁾
CIM	Forge, Miette, Belcampo Meat Co., Farmhouse Kitchen Thai Cuisine, Ascension Fitness East Bay, Grocery Café, Atomic Fiction	66 Franklin Street	F-107	18-415-5	Tenant	228	0	1642
	Plank	98 Broadway	F-111	18-415-2	Tenant	195	0	
	Bike East Bay, Fagen Friedmand & Frost, Jack London Square Management Office	70 Washington Street	F-112	18-415-1-2	Tenant	356	0	
	Baia Pasta, Oakland Supply Co., Passage Nautical Enterprises, California Canoe & Kayak Oakland	409/423/427/431 Water St.	F-115	18-415-5	Tenant	49	0	
	Heinold's First and Last Chance Saloon	48 Webster St. / 55 Harrison St.	F-203	18-420-4-2	Tenant	11	0	
	Dyafa, Navis, Kazan McClain Satterley & Greenwood, A Professional Law Corporation, Jack London Square Farmers Market	48 Webster St. / 55 Harrison St.	F-208	18-420-4-2	Tenant	758	0	
	Jack London Square Station, Jack London - Market Garage - Lot #4, Esports Arena Oakland	Site G (Amtrak Garage)	F-230	18-420-4-2	Tenant	24	0	
		Site G (Amtrak Garage)	F-232	18-420-4-2	Tenant	21	0	
TBD	Backyard Oakland	124 Oak Street	TBD	#N/A	TBD	15	0	15
Oakland Athletic Rowing Society	Oakland Athletic Rowing Society	Livingston Street Pier	J-302	18-500-1	Port	294	0	294
Port	Vacant	31 Webster St.	F-109	18-420-4-2	Port	56	0	11421
	Bevmo, Dealey Renton, GSC Logistics, Ben & Jerry's, Amtrak, Oaktown Jazz Workshops, Potomac Association	530 Water St.	F-113	18-410-1-5	Port	75	0	
	Jack London's Waterfront Parking, Yoshi's at Jack London Square	101 Washington St.	F-601	1-133-8	Port	16	0	
	Oakland Marinas, LP., ILWU, Local 91	1851 Embarcadero	J-120	18-495-1	Port	55	0	
	British Marine & Industrial, Enterprise Rent-A-Car, Table 4 One	43 Embarcadero Cove	J202, J203, J204, J216, J220, J222	18-495-1	Port	62	0	
		43 Embarcadero Cove	J-217	18-495-1	Port	86	0	
		43 Embarcadero Cove	J-218	18-495-1	Port	89	0	
		43 Embarcadero Cove	J-219	18-495-1	Port	201	0	
		43 Embarcadero Cove	J-221	18-495-1	Port	81	0	
	Quinn's Lighthouse	43 Embarcadero Cove	J-223	18-495-1	Port	40	0	
	Vacant. MOD staging area.	2400 Embarcadero Road	J-321	18-505-1	Port	149	0	
	French Artist Club, JWP lenders corporation/Fast Auto Loans.	8407 Edgewater Drive	K-402	42-4425-11	Port	17	0	
	City of Oakland-OFD Fire Station and Fire Boat	47 Clay Street	TL-69	18-410-1-5	Port	40	0	
	Oakland Marinas, LP	TBD	No ID	18-495-1	Port	29	0	
	NA	NA	P-108	NA	Port	63	0	
	NA	NA	TBD	NA	Port	0	75	
	TBD	TBD	P-112	NA	Port	206	0	
	NA	NA	J-344	NA	Port	106	0	
	Not Active	Not Active	NA	NA	Port	185	0	
	NA	NA	Common Line	NA	Port	0	9790	

Notes:

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2) Building service lateral quantities approximate only.

3) Table does not include force mains.

APPENDIX F

Port of Oakland Sanitary Sewer System (see attached Compact Disc)

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